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# APPLECROSS COMMUNITY LAND USE PLAN

Plana Cleachdadh Fearainn  
Coimhearsnachd na Comraich

JULY 2019



## FOREWORD

PAS ([www.pas.org.uk](http://www.pas.org.uk)) was commissioned by the Applecross Community Company (ACC) to produce this land use plan with a focus on identifying geographical areas which are suitable for future development. Such developments may include new homes, recreational areas, community and commercial buildings, and walking routes. The methodology of the Charretteplus® model was adapted to deliver this process, this being a series of community conversations and workshops where people are encouraged to come together to discuss and share ideas for the future of Applecross.

This plan has been developed by the ACC and Applecross Trust and is a community plan, to be shared and delivered by all members of the Applecross Community.



## WHAT'S IN A LOGO?

This land use plan has been named Plan It Applecross, and the logo has been designed by pupils of Applecross Primary. The logo is intended to represent the Applecross Peninsula with houses for everyone who needs them.

## CONTENTS

<b>1</b>	<b>INTRODUCTION</b>	<b>3</b>
<b>1.1</b>	<b>PURPOSE</b>	<b>3</b>
<b>1.2</b>	<b>CONTEXT</b>	<b>3</b>
<b>1.3</b>	<b>PLAN AREA</b>	<b>4</b>
<b>2</b>	<b>APPROACH &amp; EVIDENCE GATHERING</b>	<b>4</b>
<b>2.1</b>	<b>METHODOLOGY</b>	<b>4</b>
<b>2.2</b>	<b>CONTEXT SETTING</b>	<b>4</b>
<b>2.3</b>	<b>VISIONING</b>	<b>4</b>
<b>2.4</b>	<b>COMMUNITY PRIORITIES</b>	<b>5</b>
<b>2.5</b>	<b>ACTION</b>	<b>5</b>
<b>3</b>	<b>STRATEGIC VISION</b>	<b>7</b>
<b>3.1</b>	<b>AIM</b>	<b>7</b>
<b>3.2</b>	<b>VISION</b>	<b>7</b>
<b>3.3</b>	<b>PLACEMAKING PRIORITIES</b>	<b>7</b>
<b>4</b>	<b>PLACE</b>	<b>8</b>
<b>4.1</b>	<b>NORTH APPLECROSS - ZONE 1</b>	<b>9</b>
<b>4.2</b>	<b>ESTATE AND SHORE ST - ZONE 2</b>	<b>15</b>
<b>4.3</b>	<b>SOUTH APPLECROSS - ZONE 3</b>	<b>44</b>
<b>5</b>	<b>SUMMARY / NEXT STEPS</b>	<b>48</b>
<b>6</b>	<b>APPENDICES</b>	<b>49</b>



Milltown

# 1 INTRODUCTION

## 1.1 PURPOSE

This Community Land Use Plan (CLUP) is intended to positively influence the future sustainable development of Applecross for the benefit of the entire community. It is an initiative of the community-led development agency called the Applecross Community Company (ACC), and provides a framework for the future development of Applecross. This CLUP achieves this by identifying potential geographical areas for future development. Such development may include new homes, recreational areas, community and commercial buildings, and transport infrastructure. By involving the community throughout the entire project this plan has been co-created, and includes the views of community members, landowners, businesses and other stakeholders.

The proposals contained within this plan may be taken forward by different stakeholders, the ACC, The Applecross Trust (landowner), and other groups who represent particular interests, e.g. the Allotments Group, the Healthcare Association. Furthermore, it is intended that this plan be used as Highland Council statutory planning guidance to guide community projects over the short, medium and long term.

Thathar an dùil gun toir am Plana Cleachdadh Fearainn Coimhearsnachd (PCFC) seo deagh bhuidh air leasachadh seasmhach na Comraich san àm ri teachd agus gum bi seo na bhuanachd dhan choimhearsnachd air fad. S e iomairt a tha seo leis a bhuidhinn leasachaidh dhen ainm Companaidh Coimhearsnachd na Comraich (CCC), a tha fo stiùir na coimhearsnachd, agus tha i a toirt seachad frèam airson a bhith a leasachadh na Comraich san àm ri teachd. Tha am PCFC a coileanadh seo tro bhith a comharrachadh àiteachan cruinne-eòlasach a dh fhaodadh a bhith freagarrach airson leasachadh san àm ri teachd. Math dh fhaodte gum bi leasachadh a gabhail a-steach dachaighean ùra, àiteachan cleasachail, togalaichean coimhearsnachd is coimeirsealta, agus bun-structair còmhhdhalach. Le bhith a com-pàirteachadh na coimhearsnachd tron phròiseact air fad, chaidh am plana seo a cho-chruthachadh, agus tha e a gabhail a-steach beachdan bho bhuill na coimhearsnachd, uachdarain, gnothachasan agus luchd-ùidh eile.

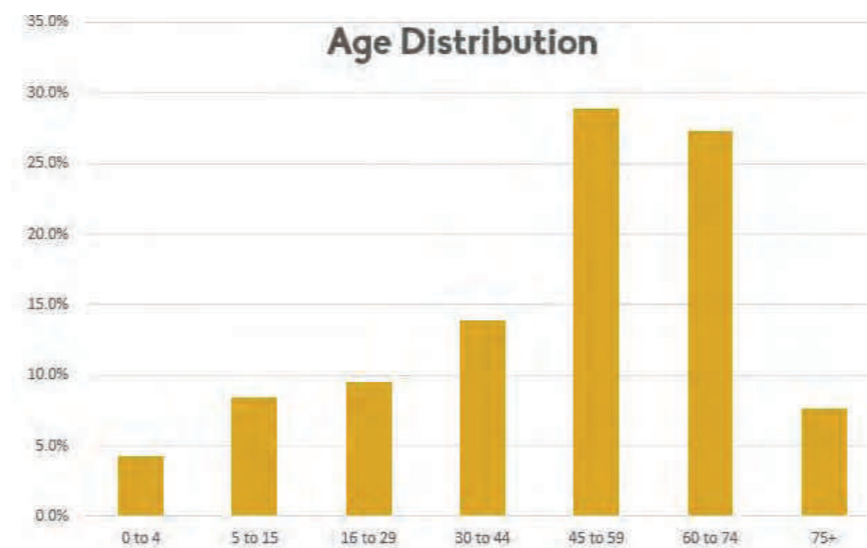
Faodaidh na molaidhean sa phlana seo a bhith air an toirt air adhart le luchd-ùidh eadar-dhealaichte, CCC, Urras na Comraich (an t-uachdaran), agus buidhnean eile a tha a riochdachadh ùidhean sònraichte, me Buidheann nan Lotaichean agus Comann a Chùraimshlàinte. Cuideachd, thathar an dùil gun tèid am plana seo a chleachdadh mar stiùireadh dealbhaidh reachdail Chomhairle na Gàidhealtachd gus pròiseactan coimhearsnachd a stiùireadh sa ghearr-ùine, sa mheadhan-ùine agus san fhad-ùine.

## 1.2 CONTEXT

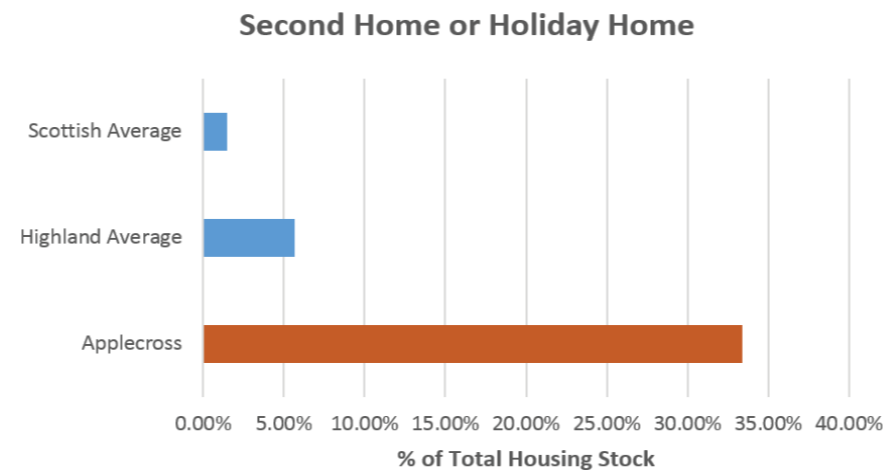
Applecross is a large peninsula (26,000ha) comprising over 20 coastal crofting townships in Wester Ross. Known as the sanctuary 'A' Chomraich', the Applecross peninsula has been characterised as a microcosm of the Highlands of Scotland given its diverse landscape of mountains, moorland, sea, islands, woodland, and distinct Gaelic heritage (Applecross Landscape Partnership Scheme). It is this setting and heritage that make Applecross a special place to live, work and visit.

Applecross, however, faces a number of unique challenges:

- The area has a higher than average number of elderly residents (35% are over 60 years of age) and too few working age (and younger) permanent residents.
- There is identified fuel poverty.
- Increased tourism through the NC500 has brought its own added pressures on inadequate infrastructure.
- There is a lack of affordable housing, transport, services and employment opportunities. This is linked to the availability of land to allow market and community-led development to address these deficiencies and a disproportionate number of holiday homes.



Source: The Highland Council (2019)



Source: Census (2011)

These challenges play a significant role in the declining population of Applecross and its overall sustainability. Recent initiatives, including this Community Land Use Plan and the establishment of a local Forum, attempt to bring together key stakeholders: Applecross Trust, Applecross Community Company, Applecross Community Council, The Highland Council, and others to improve both local responsiveness and collaborative problem solving.

## 1.3 PLAN AREA

The study area initially included all land considered part of the Applecross peninsula and was subsequently reduced to land under the jurisdiction of Applecross Community Council, and that owned by Applecross Trust. Where a strategic approach is required, in areas such as public transport and path networks, relevant neighbouring organisations and delivery agencies will be engaged. The plan area is indicated on the map below.



The methodology is briefly outlined in the next section, along with the results and findings from the activities and events conducted throughout the Plan It Applecross process.

## 2 APPROACH

### 2.1 METHODOLOGY



PAS Charretteplus® Engagement Process

### 2.2 CONTEXT SETTING

Early research and discussion was conducted to establish major themes and issues that would be focused on in the Visioning stages. Two school engagement workshops were held with Plockton High School (6 pupils) and Applecross Primary School (10 pupils). Meetings and workshops were held with local/regional groups, representatives, and various local residents. These included: Over 60s, Crofters, Historical Society, Allotments Group, Church of Scotland, Archaeological Group, Crofting Commission, Historical Society, Community Council, Applecross Forum, Applecross Healthcare Association, Applecross Walks & Traditional Crafts, Local Businesses, Hall Committee, Highland Council, Highlands and Islands Enterprise, Highlands Small Communities Housing Trust, Applecross Trust, and Rhoda Grant MSP.

Research was also undertaken to review previous engagement in the area, including but not limited to: The Applecross Community Company Survey; The Community Vision 2030 - prioritising communication, community sustainability, employment and housing (see App. 2); The Applecross Landscape Partnership Scheme; and the Highlands Small Communities Housing Trust Community Survey.

Four different themes appeared to emerge:

- Getting Around/Transport: Path networks, transport infrastructure.
- Homes: Affordability, land supply, age-specific housing.
- Community: Hall and leisure facilities, heritage, culture.
- Local Economy: Business land supply, self-sufficiency, tourism.

### 2.3 VISIONING

A presentation evening and four workshops were conducted from the 28 Feb – 2 March. A total of 157 participants were recorded across the three days of events. Building on the proposals and outcomes from previous engagement, and our engagement discussions, sites and proposals were identified across the four workshop areas as follows:

- Homes: Affordable homes (offering a range of sizes from 1-3 bedrooms), self-build homes, age-specific homes, new crofts, temporary accommodation, delivery mechanisms (e.g. housing burdens).
- Community: Visitor hub/centre, swimming pool, leisure facility, boat shed, community woodlands, bike hire, geo-park, marine reserve, heli-pad, community hall improvements, flexible gallery space, new allotments.

- Local Economy: Pier/marina/yacht mooring, employment areas, business enterprise centre, summit observatory and telescope, signage strategy, food co-op and community shop, tourism strategy (addressing NC 500 concerns), infrastructure improvements (e.g. 3 phase, broadband).
- Getting Around: Multiple path improvement sites were identified, including: the community hall to Shore St, Camustiel to Milltown (via Torgarve), improvements to the Kenmore to Arrina track, various mountain bike trails, a peninsula wide coastal path from Kishorn to Shieldaig utilising historical post network and existing paths. Other initiatives suggested were improved carpark areas, a ferry terminal at Toscaig, an electric bus service around the perimeter of the peninsula and over Bealach na Ba.

Following the first set of workshops a meeting was held on the 13 March to short-list the sites identified. The Highland Council, Applecross Trust, Applecross Community Company, and the Highlands Small Communities Housing Trust were brought together to determine the validity of sites based on current ownership and planning viability. Final sites were then promoted at a return event/drop-in.

This return event was held on the 3 April to provide residents with an opportunity to comment on the workshop ideas, and to test the accuracy of the development sites identified. Approximately 50 residents attended this event.

A number of key suggestions were made:

- That any future plan should, as a guiding principle, ensure the special setting of Applecross, as a sanctuary with a unique natural and cultural heritage.
- That some of the development sites required more detailed analysis, and site level surveying, prior to identifying precise locations. This included marine and geopark initiatives, and various forms of infrastructure that would support the overarching theme of "Slow Tourism" (e.g. the coast path, and car parking). Slow tourism is defined as activity which may retain tourists for longer periods, e.g. walking, heritage attractions.
- At site specific level, facilities related to health and fitness, and a potential heli-pad, were emphasised.
- A small sample voting exercise (28 residents) indicated a preference to use either the Steading (46%) or Clachan (43%) as opposed to the Carpark (11%) for any new visitor attraction/centre.
- There was a clear indication from responses that any potential visitor attraction/centre be clearly differentiated from a community hub, which needed to remain at the site of the existing Community Hall.

### 2.3 VISIONING (CONT)

- There was support for new woodland crofts at the Arrina forest site, and a preference to use Hartfield House, the Sawmill, Smiddy Wood, and the forestry block north of Hartfield for affordable housing, temporary housing and live/work spaces (e.g. workshops).
- There was also support for community woodlands at Carnach and Torgarve, albeit with sufficient management planning in place prior to any ownership changes.
- There was a preference for any potential business premises with a light industry focus to be promoted on a "infrastructure viable" basis, e.g. 3-phase power supply, road accessibility.
- There was broad support for improved active travel path network linkages between key areas, such as the school and the hall, and the hall and Shore St.

### 2.4 COMMUNITY PRIORITIES

A final set of proposed priorities was then identified from the activities. These are listed below and are outlined in more detail in Appendix 1.

#### Homes

- Identify sites for new crofts (agriculture and forestry), individual self-build homes, low-cost homes (rental and owner occupied), live/work units, all access accommodation, existing derelict sites and buildings to re-use as homes; short-term accommodation for seasonal/temporary workers
- Develop a housing strategy

#### Getting Around

- Improve road infrastructure and capacity to address tourist and general use.
- Develop a Peninsula wide walkway as a regional tourism venue.
- Identify sites for carparks and direct visitors there at peak times.
- Identify and create a network of paths linking key facilities and items of interest.
- Develop a helipad site.
- Identify a site for a bike maintenance and repair service hub.
- Develop more effective and efficient public transport beyond the Peninsula with coordinated hubs.
- Develop a local transport service.
- Further develop the community car- share scheme.
- Develop a ferry service from Toscaig Pier.
- Develop a bike rental scheme.

#### Local Economy

- Establish community owned woodland(s).
- Develop a multifunctional visitor hub/community/heritage centre/gallery space.
- Develop Toscaig Pier as a multi-use site.
- Develop a community boatshed / marina.
- Identify sites for more business premises.
- Identify sites for renewable energy production.
- Address community energy and telecommunications infrastructure deficiencies.
- Consider how to create a support network for local businesses/entrepreneurs.
- Consider how to promote local produce and agriculture.
- Ensure sustainability of community owned infrastructure e.g. petrol pumps and toilets.
- Develop a tourism strategy.

#### Community

- Develop a gymnasium and/or multi-use sports pitch.
- Identify a site/shed for a library of things to share skills and equipment between residents and crofters.
- Develop a gallery/cultural space, with flexibility for a range of uses.
- Identify a site for a new playpark in central location for locals and visitors.
- Establish a coordinated approach to waste and general tidiness.
- Better utilise the community hall.
- Develop new allotments.
- Better coordinate social activities and local groups.
- Develop a local approach to health and wellbeing for those with specific needs.
- Develop a new swimming pool.
- Protect and preserve cultural, historical and environmental areas on and around the Peninsula. Link to existing designations.
- Ensure that adequate school and education facilities are provided locally.



### 2.5 ACTION

The "Action" phase of the Plan It Applecross process will involve the adoption of this plan as supplementary statutory guidance to The Highland Council Local Development Plan. This will help guide the planning application process for any development outlined in this Community Land Use Plan. It will do this by illustrating the interdependent nature of each proposed land use, and the community support for it.

The delivery of proposed land uses will also require detailed and comprehensive planning by landowners, initiators, partners in the Applecross Forum and key funding agencies. An early level of proposal development has been provided alongside the mapping outlined in Section 4: "Place". These proposals are indicative only and are intended to give an early understanding of potential concepts.



Applecross Primary School

### 3 STRATEGIC VISION

#### 3.1 AIM

This plan will promote affordable development land for housing, employment and community uses for local residents and those wishing to make a long term contribution to the Applecross community.

An underpinning principle to any development will be to create a sustainable Applecross, which maximises its strong sense of community, and identity as a sanctuary "A' Chomraich", defined by its rich cultural, natural resources and heritage.

#### 3.2 VISION

Derived from the Plan It Applecross process and the Community Vision 2030. Applecross is:

- resilient
- prosperous
- welcoming
- a sanctuary
- affordable
- sustainable
- dynamic
- accessible
- physically and mentally healthy
- a "Slow Tourism" destination

#### 3.3 PLACEMAKING PRIORITIES

Placemaking Priorities for Applecross will be included in the adopted Highland Council Local Development Plan 2019 (WestPlan). Community feedback, gathered throughout the Plan It Applecross engagement process, has been used to adapt these priorities according to local need. Themed under six headings the priorities outlined may be seen as a high level set of principles which underpin this community land use plan.

##### Environment

Making the most of Applecross's unique environment by:

- ensuring development proposals respect local heritage and marine interests.
- promoting sustainable development.
- safeguarding areas noted as being important for nature conservation, landscape and woodland interests.

##### Getting Around

Better managing traffic, and improving community health & wellbeing and access to and from the Peninsula and to path networks by:

- providing new and expanded active travel/electric car facilities within the village and to ferry and rail connections.
- improving traffic management, navigation, road surfacing, safety and maintenance.
- developing peninsula wide walkways and path networks.
- improving parking and public transport provision.

##### Homes

Making it easier to live in Applecross by:

- identifying and making land and buildings available for affordable housing for local residents of all ages and those wishing to make a long lasting contribution to the community. Sites should be of a size, capacity and location that is viable and close to facilities including an energy supply.
- identifying and making land available for self-build plots of a suitable scale and infrastructure.
- identifying sites for new crofts (agriculture and forestry).

##### Local Economy

Making it easier to work in Applecross and maximising community and tourist spend locally by:

- identifying and making land available for employment / business premises.
- supporting live/work units and local entrepreneurs.
- sharing the benefits of any expansion at Kishorn (in terms of facilities and skilled workforce).
- possibly expanding Toscaig Pier and related facilities.
- developing a community boatshed / marina.
- encouraging tourists to spend time in Applecross.
- making it easier to sell local produce.

##### Energy

Making the community more energy efficient by:

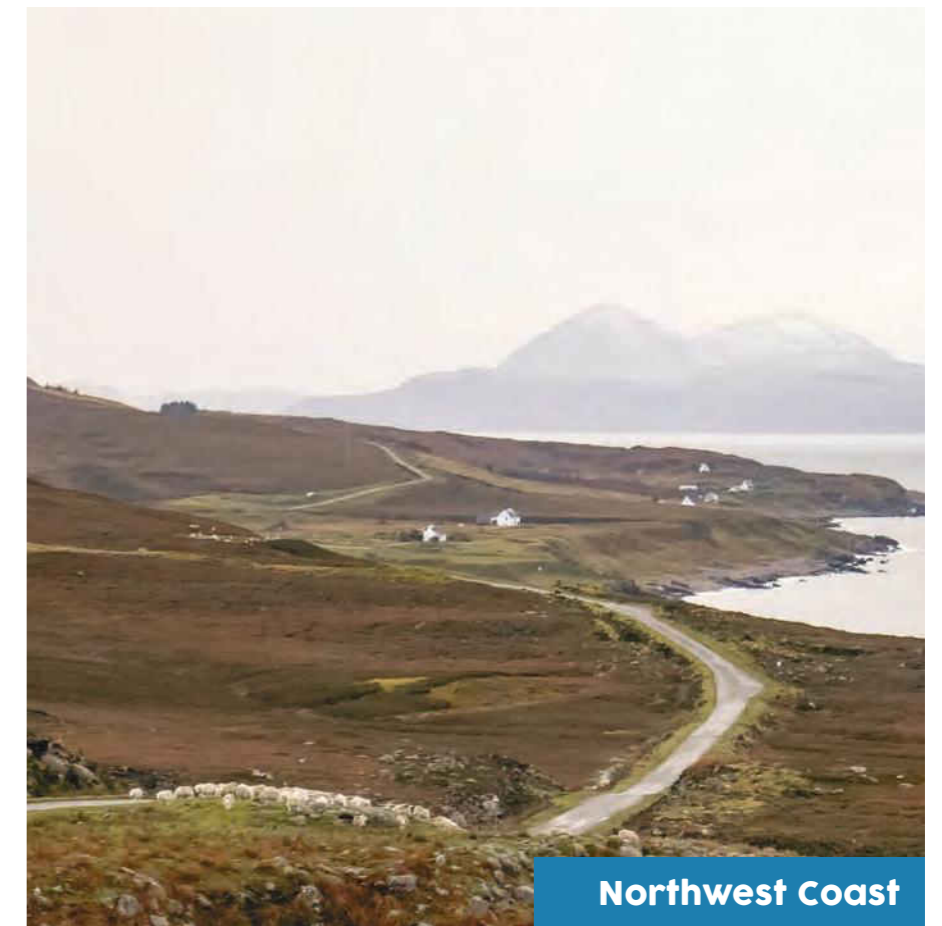
- introducing measures into existing and new properties.
- locating new development close to energy generation schemes.
- lobbying for better connections to wider energy networks.
- planting more trees (for wood fuel).

##### Community

Facilitating and encouraging community/social interaction, health & wellbeing, managing tourist activity and creating a self-sufficient community by:

- improving and extending community energy and telecommunications infrastructure.
- identifying and making land available for a new multi-functional visitor attraction.
- enhancing the existing community hall and other community facilities and infrastructure.
- creating community woodlands.
- developing new fitness facilities.
- improving healthcare provision and facilities.
- ensuring school and education facilities meet future community need.

The next section "Place" applies this strategic approach as a framework to organise the land use sites that have been identified by the community in Section 2.



Northwest Coast



## 4 PLACE

### INTRODUCTION

The following section is intended to indicate potential locations for a diverse range of land uses. It is not the intention that every site will be brought forward for development, rather it provides a framework to indicate where development is more likely to be supported by the community, landowners and The Highland Council. Any and all potential development proposed in this plan that requires planning permission will be subject to a formal planning application process, at which point potential site-specific impacts will be assessed in more detail, e.g. flood risk, heritage and environmental impacts. *It is expected that The Highland Council will approve this plan as a material planning consideration in assessing planning applications in the Applecross area., and that the Scottish Government will endorse the plan so that it may also gain statutory status as part of the "approved development plan" for the area. This plan will then become a principal local planning policy document for assessing future planning applications.* It is important to note that the identification of potential development sites in this plan will not obstruct any future development brought forward outside this process – for example on adjacent sites.

In reference to the maps provided, land uses are broken down into themes related to the Placemaking Priorities, showing a strategic approach to development in Applecross. Identified land uses are placed under the headings: Getting Around, Environment, Homes, Energy, Local Economy, Community. The sites are then shown as being 'potential'.

### PROPOSED DEVELOPMENT PATTERN

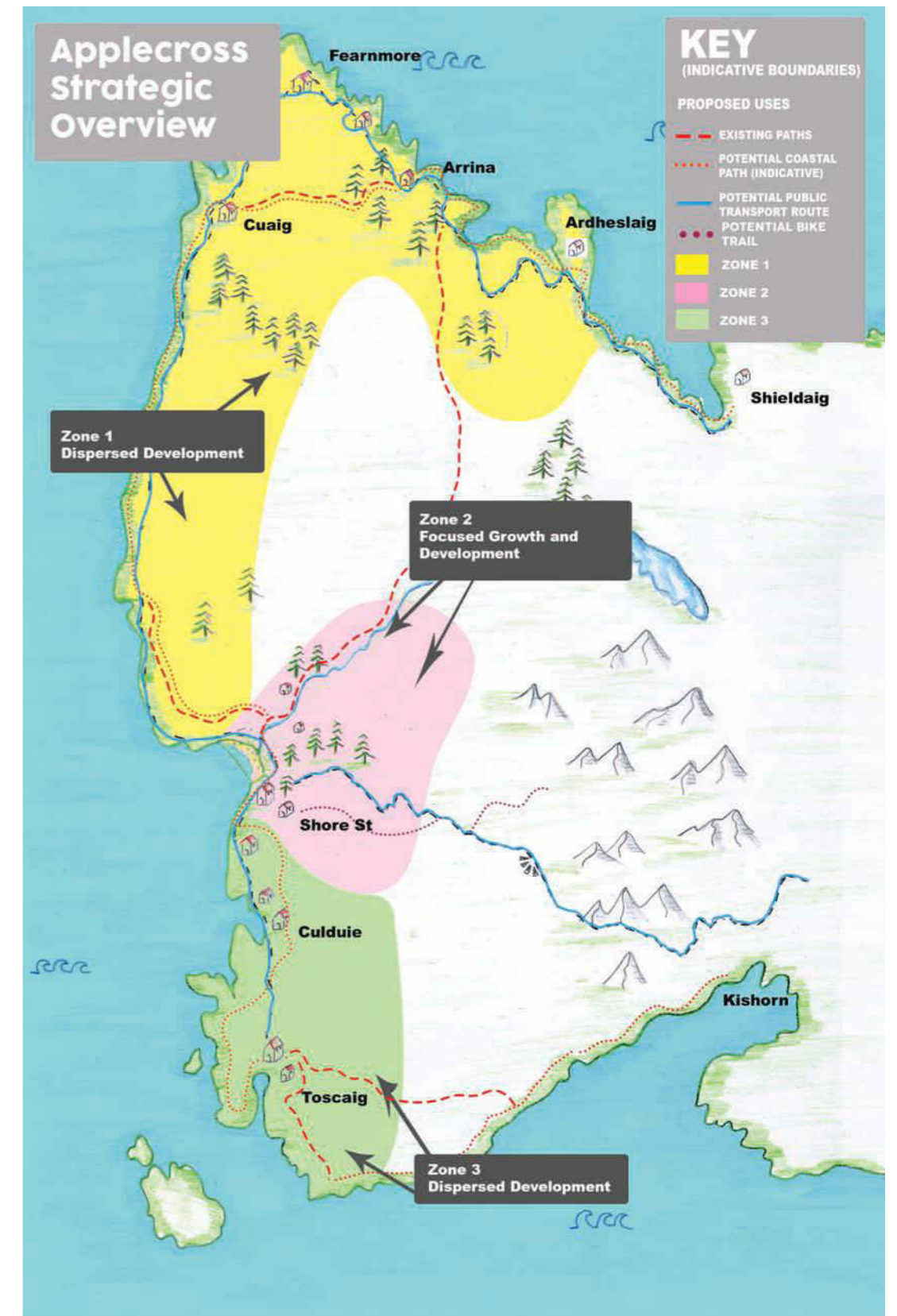
The Peninsula has been broken down into three sections (Zones 1 to 3) to indicate the level of future development potential. This has been based on historical development patterns, population numbers, and the number of ideas and initiatives arising from previous engagement activity and Plan It Applecross discussions. As an overview (see adjacent map) it is intended that development in the north and south will be less preferable to that proposed in and around Applecross Bay and the Estate. This is based on existing development patterns and their proximity to existing tourist infrastructure (e.g. roads, campsite, hospitality and attractions).

### BROADER PENINSULA WIDE & NON-SPATIAL PROPOSALS

Some of the initiatives and land use proposals brought forward are considered either non-spatial in nature, i.e. not broadly related to any particular site, or multi-locational, i.e. taking place over numerous sites. Non-spatial proposals have been documented and can be found in Appendix 1. Multi-locational proposals have also been documented in Appendix 1 and are listed below.

- A coastal path network navigating the perimeter of Applecross, incorporating existing paths.
- Three phase power and telecommunications to be provisioned in key development areas
- A public transport network, potentially delivered through electric vehicles (see adjacent map).
- A potential geo-park covering the central mountainous area of Applecross.
- A potential marine park or set of of protected marine areas off the south west coastline.
- Various mountain bike trails forking off Bealach na Ba.(see adjacent map).
- A tourist hub, and potential park and ride facility on the Kishorn side of Bealach na Ba.
- A cultural heritage network across the peninsula, which would preserve historical areas of interest.

The rest of this section is broken down into the three zones: 1) North Applecross, 2) The Estate and Shore St, and 3) South Applecross. A brief narrative is provided summarising activity in each zone, maps showing sites are then shown. Where a site has been deemed as offering more potential for development it has been surveyed in more detail, and supplemented with one possible indication of what could occur on the site.



## 4.1 NORTH APPLECROSS (ZONE 1)

### DESCRIPTION

The North Applecross area is characterised by dispersed crofting settlements within terraced, undulating coastal moorlands.

### ISSUES

Although largely made up of self-sufficient and independent groups of homes and crofts, it has been suggested that there are particular issues associated with this area:

- Poor quality tourist infrastructure.
- Lack of supply of housing land.
- Lack of supply of business and employment land.

### GROWTH PATTERN AND IDENTIFIED LAND USES

The preferred approach for development across this area of Applecross is "dispersed and less intensive". The following potential locations for future development have been identified:

Theme	Description	Sites
Getting Around	Path Improvements for Kenmore to Arrina	1A
	A peninsula wide path network	N/A
	Carpark improvements	1C, 1E, 1I
Homes	Dispersed croft development on an existing woodland	1B
	Investigation into derelict or absentee owner housing	1F
	Self-build housing sites on existing grazing land	1D, 1G
Local Economy	Potential employment land for light industry, e.g workshops, garage, etc. Being based on an infrastructure ready approach	1H, 1J, 1K, 1L, 1M

### KEY SITES DEVELOPED IN MORE DETAIL:

Arrina Woodland (1B).



**ZONE 1 - MAP 1**  
**Applecross North (1 of 2)**

**KEY**  
 (INDICATIVE BOUNDARIES)

- POTENTIAL SITES
  
- LAND USES**
- ⚡ ENERGY
- £ LOCAL ECONOMY
- 👥 COMMUNITY
- 🌿 ENVIRONMENT
- 🏠 HOMES
- 🚶 GETTING AROUND
- INDICATIVE COASTAL PATH & BRANCH PATHS

**1C**  
**Improved Carpark Site**

**1B**  
**Woodland Croft/Self-build**

**1E**  
**Improved Carpark Site**

**1D**  
**Self-build**

**1A**  
**Path Improvements - Kenmore to Arrina**

**1F**  
**Vacant/derelict house re-use**

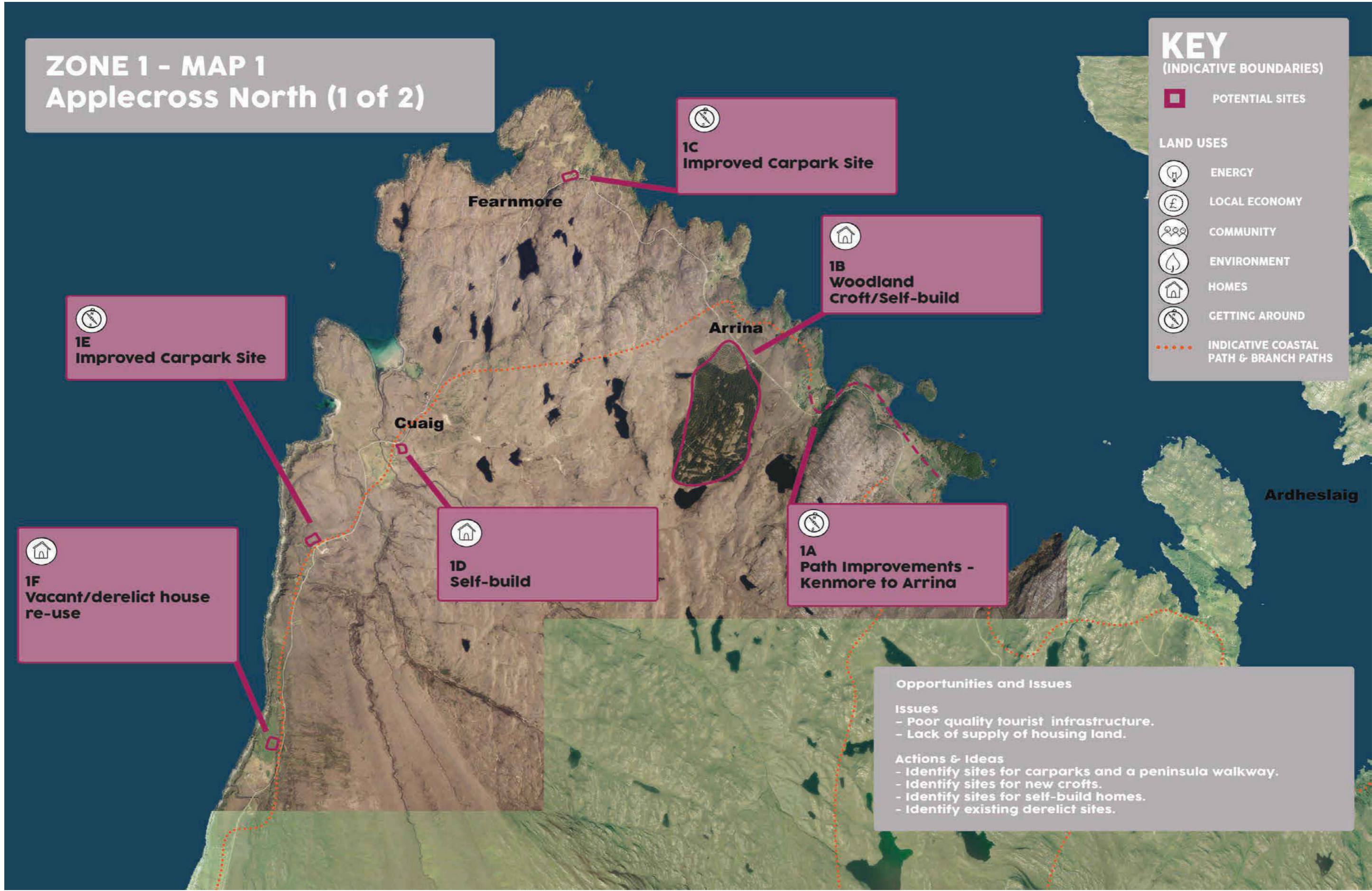
**Opportunities and Issues**

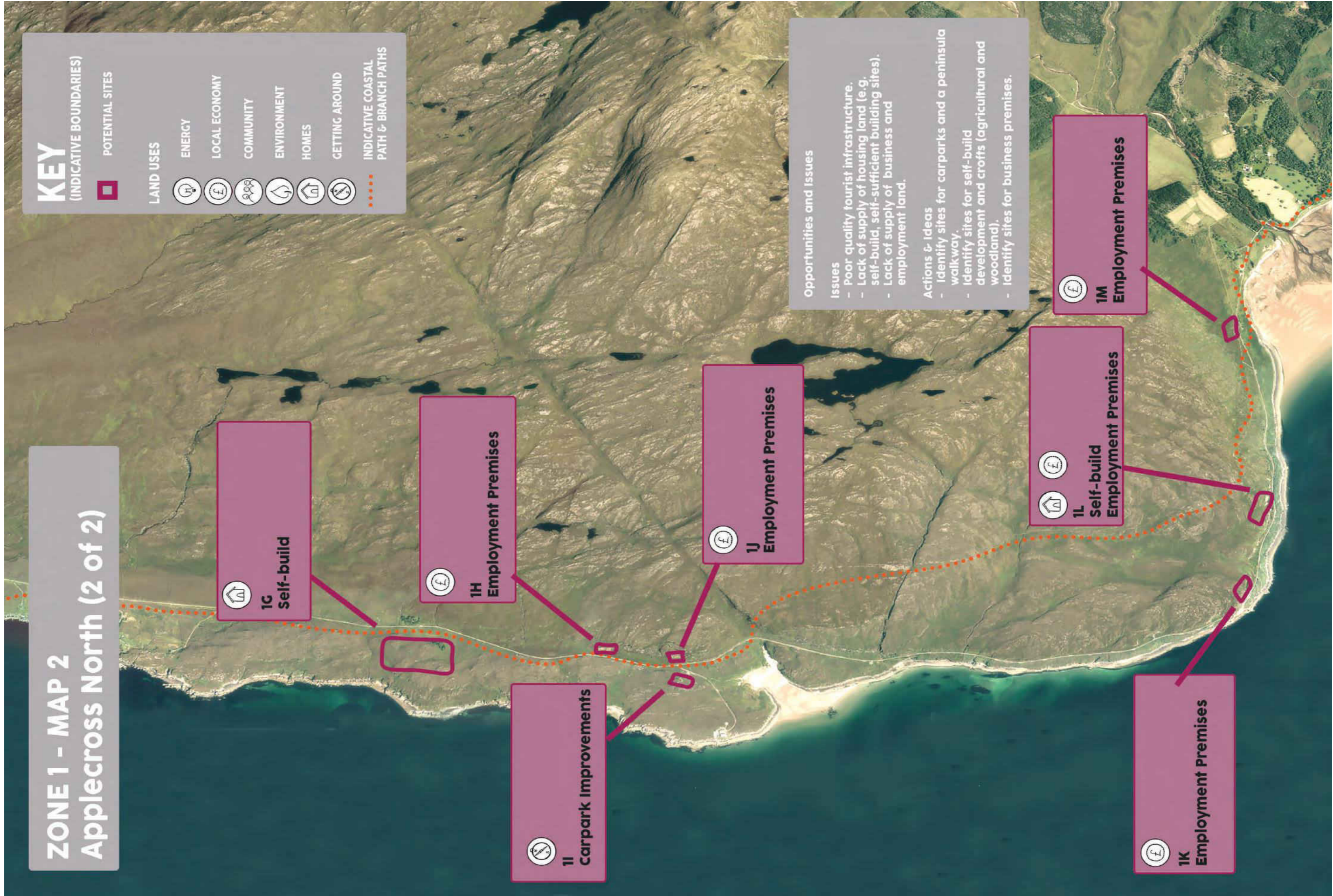
**Issues**

- Poor quality tourist infrastructure.
- Lack of supply of housing land.

**Actions & Ideas**

- Identify sites for carparks and a peninsula walkway.
- Identify sites for new crofts.
- Identify sites for self-build homes.
- Identify existing derelict sites.





## ARRINA (1B)

### LOCATION AND AREA

**Location:** the site is located about 600m west of the Arrina Township.

**Area:** total woodland area is approximately 93 ha.

### DESCRIPTION

Currently the site is a conifer plantation (not native) woodland. The site slopes towards the north-east and is restricted by the road along its north-east boundary. The north part of the woodland has been felled. A substantial burn connected to Loch a'Choire Bhuidhe runs through the site. Following heavy rainfall a number of temporary burns appear through the site. The northern portion of the site is below road level and is boggy.

The ground conditions are poor due to forestation and tree felling and lack of sufficient drainage.

Site Analysis drawing does not show the entire site due to its size. The area outside the drawings is deemed too steep to be developed for housing; it could be retained as a woodland.

Site appears to be within Shildaig Community Council area, who will need to be consulted if development is taken forward.

### LANDSCAPE CHARACTER TYPES / LAND DESIGNATIONS

- Undulating moorland SNH character type\*
- Coastal rocky moorland local character type\*
- Landscape Partnership Area

(\* refer to horner+maclennan Landscape Character Assessment)

### INFRASTRUCTURE/SERVICES

- Electricity: Mains electricity
- Water: Private system required. Existing burn and rain water collection could be utilised
- Sewage: Further investigation required.
- Access: The site is accessible from the main road between Toscaig and Shildaig, to the north-east of the site. An existing track leads to the centre of the site where it turns into a path leading to Cuaig.

### PROPOSED DEVELOPMENT

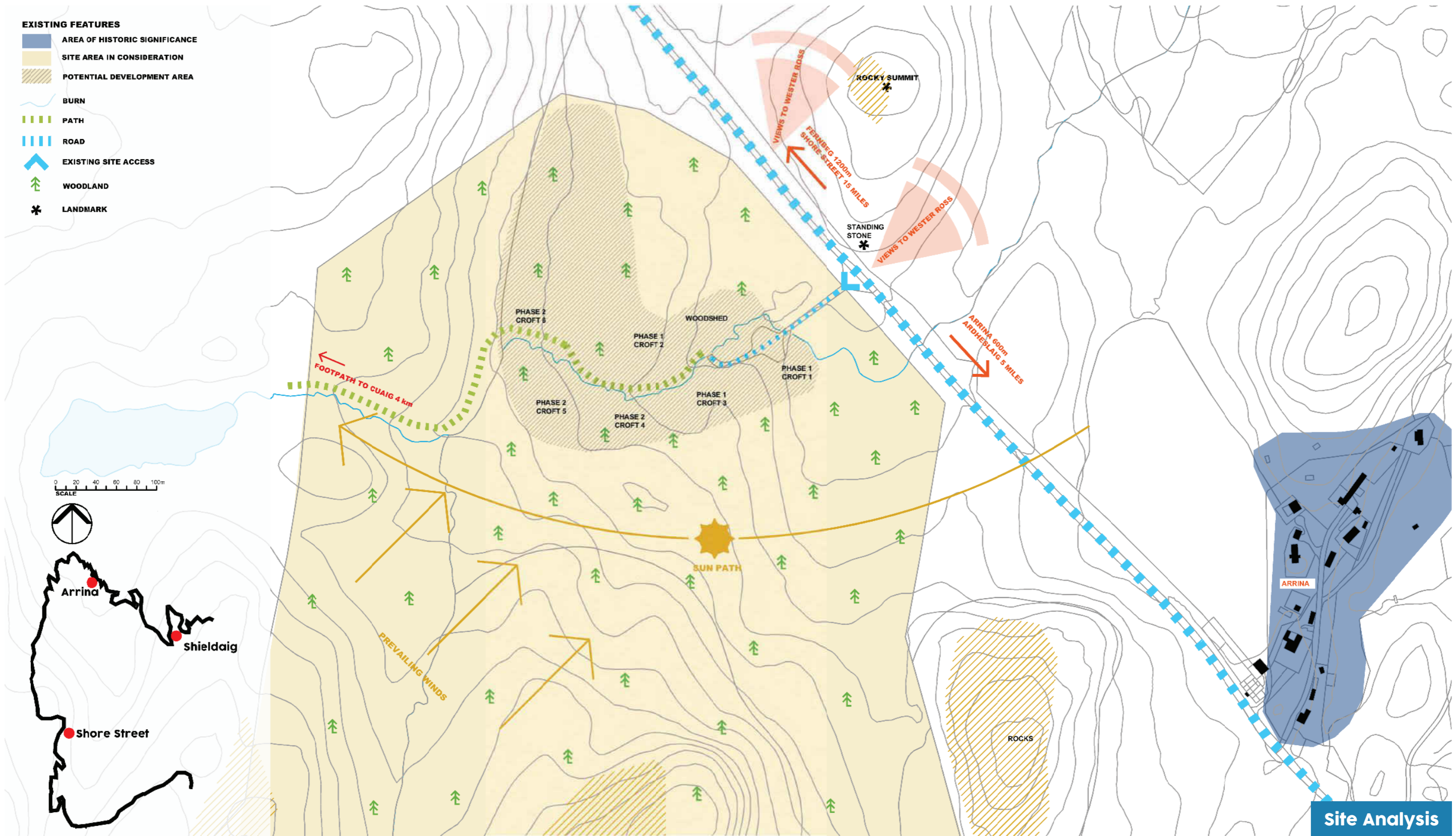
Woodland crofts, along with individual houses and a large wood shed.

### RELATIVE PLACEMAKING PRIORITIES

- Identifying sites for new crofts (agriculture and forestry).
- Planting more trees (for wood fuel).
- Promoting sustainable development.
- Identifying and making land available for employment / business premises.



Site Photos



### DEVELOPMENT POTENTIAL

**Use and Development Type:** This site may be considered for woodland crofts, along with individual houses and a large wood shed.

**Capacity:** Medium (6-20 housing units). There is potential for six woodland crofts in a first phase, and then further groupings of crofts in the westerly sections of the site in subsequent development phasing. Houses (approximately 100m<sup>2</sup> footprint) on a minimum of 5ha each.

### DESIGN & FORM

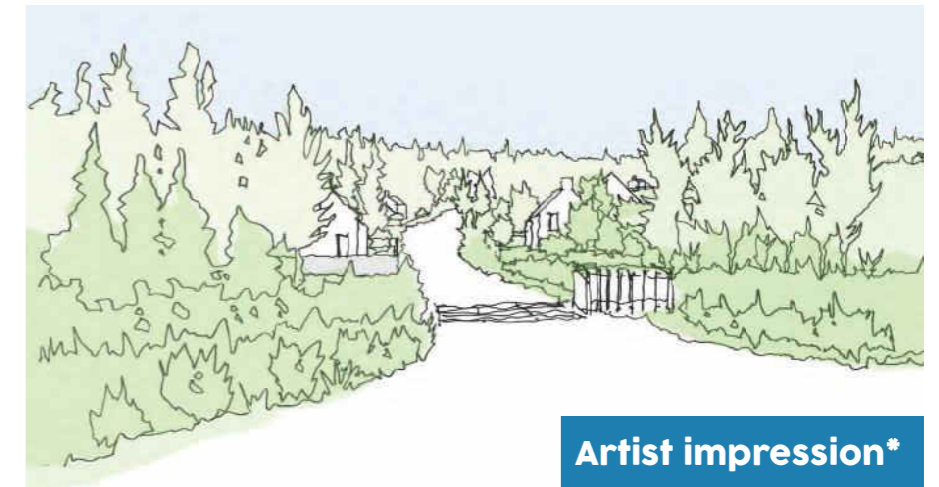
House design may follow the massing and roof/wall proportions typical in the adjacent townships. The main mass of a typical building in the area is based on a relatively shallow (approximately 6.5m) rectangular footprint (approximately 75m<sup>2</sup>), is single or one and a half stories in height, with vertical windows and a pitched roof, often with dormers. The need for additional area can be satisfied by adding "extension-like" elements to the main mass of the building. These extensions would ideally not disturb the main roof/wall proportions.

The use of croft sourced timber is encouraged for construction. The use of traditional materials is recommended, e.g.: white wet dash render; stone; timber; slate; and metal sheet. Modern interpretation of traditional architecture that meets current needs and uses modern materials to their full potential, e.g. glass, is also encouraged.

It is recommended that the new detached houses be located within individual crofts. It is suggested that the location be in close proximity to the new access road, and on sites with a minimal slope to limit the need for engineered platforms and land cutting. The longer edge of the building would ideally be south facing as far as possible and contain larger areas of glazing to allow passive solar gain and good quality daylight. The areas to the south, east and west of the houses should be cleared of trees. Areas south and south-west of the buildings should ideally be protected from the prevailing winds with native trees distant enough to not overshadow the building. It is suggested that there should be minimal glazing on the north elevation; this is also the best location for adding the unheated "extensions" and porches, which will act as thermal buffers.

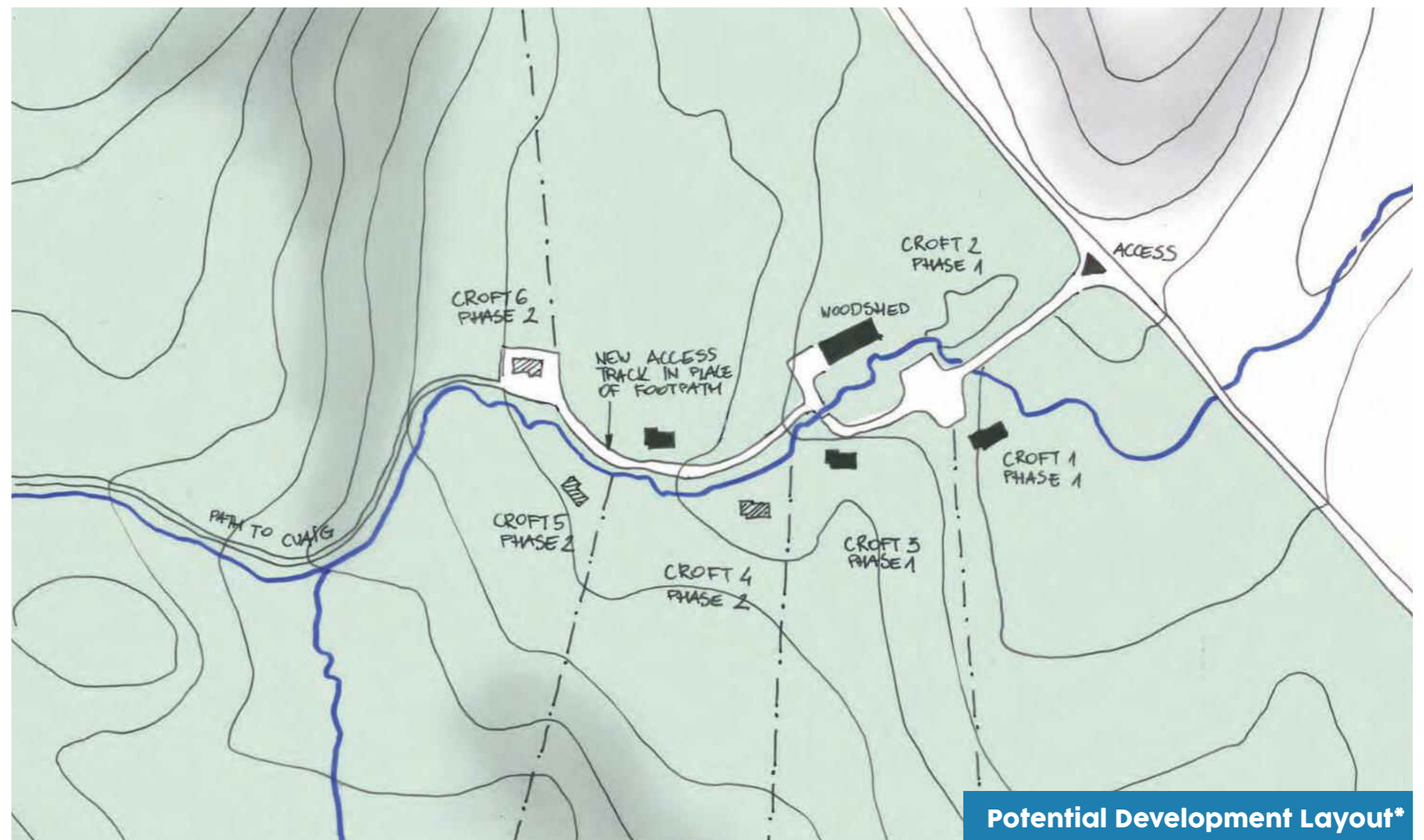
Where a site boundary is required, the use of dry stone walls, hedges and timber fences is encouraged. Use of urban materials, such as concrete kerbs, paving slabs etc. should, where possible, be avoided.

**Flood Risk:** The final locations of buildings and the access road will have to be shown to avoid flood risk, including ephemeral channel and overland flow paths, and include a buffer of at least 6m between the tops of the bank of the watercourse and built development. Watercourse crossings should be traditional style bridges.



Artist impression\*

\* = All images are indicative and for illustrative purposes only, they are one suggestion of what could happen on a given site.



Potential Development Layout\*

## 4.2 ESTATE & SHORE ST (ZONE 2)

### DESCRIPTION

Applecross Estate and Shore Street, set within the enclosed Applecross Bay, farmed lands and forests, and rugged mountain massif landscape, serve an important role as an amenity and service centre for the peninsula.

Development is characterised by the linear settlement of Shore St, the congregation of residential homes and campsite of the Steading area, and dispersed collection of dwellings and buildings on the estate lands. This area is also uniquely positioned to offer the most to tourists, particularly those on the NC500, given the fact that the main perimeter road passes directly through it, and that it has a diverse selection of distinct heritage features, outdoor recreation, and path networks.

### ISSUES

This area is noted as having distinct issues:

- Poor quality tourist infrastructure.
- Deficient general infrastructure (e.g. Electricity, Broadband).
- Lack of supply of self-build and other affordable housing land.
- Lack of supply of employment land.
- Poor public transport.
- Concern with traffic and tourism creating congestion in Shore St/ Applecross Inn area.
- Need for more community facilities and amenities.
- Need for better multi-use path networks linking Shore St with adjacent settlements.

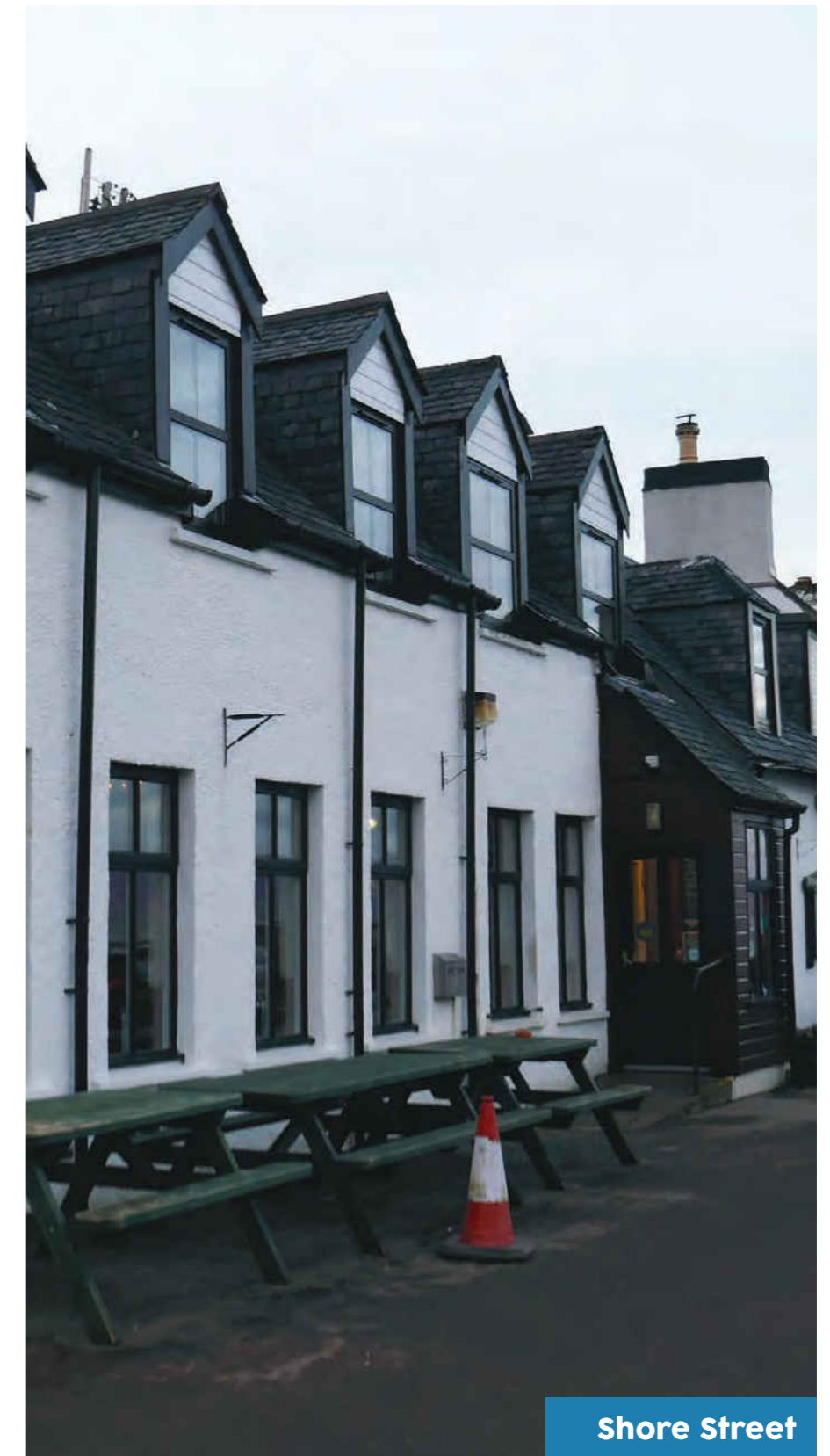
### GROWTH PATTERN AND IDENTIFIED LAND USES

Tapping into an existing offering, the preferred approach for development across this area of Applecross is for more focused growth and development. The following potential locations for future development have been identified:

Theme	Description	Sites
Getting Around	Development of dedicated foot and cycle path connections between Milltown and Shore St	2AC
	A peninsula wide path network	N/A
	Aboretum footpath improvements	2O
	Identify potential hub sites for a bike hire scheme	2C, 2N, 2J, 2Q, 2X
Homes	Identify sites for the development of affordable homes, crofts, and self-build homes	2A, 2C, 2F, 2G, 2H, 2L, 2S, 2AB, 2V, 2W
Local Economy	Identify site for new multifunctional visitor hub/ heritage centre/gallery	2I, 2U
	Identify sites for live/work, light business workshops and a marina	2D, 2B, 2M, 2AA, 2U, 2P, 2AD, 2AE, 2Y
Community	Identify sites for health and fitness facilities e.g. swimming pool, gym, sports pitch	2U, 2AH
	Develop new allotments	2AJ
	Establish a community owned woodland, and a co-managed woodland.	2AF, 2AG

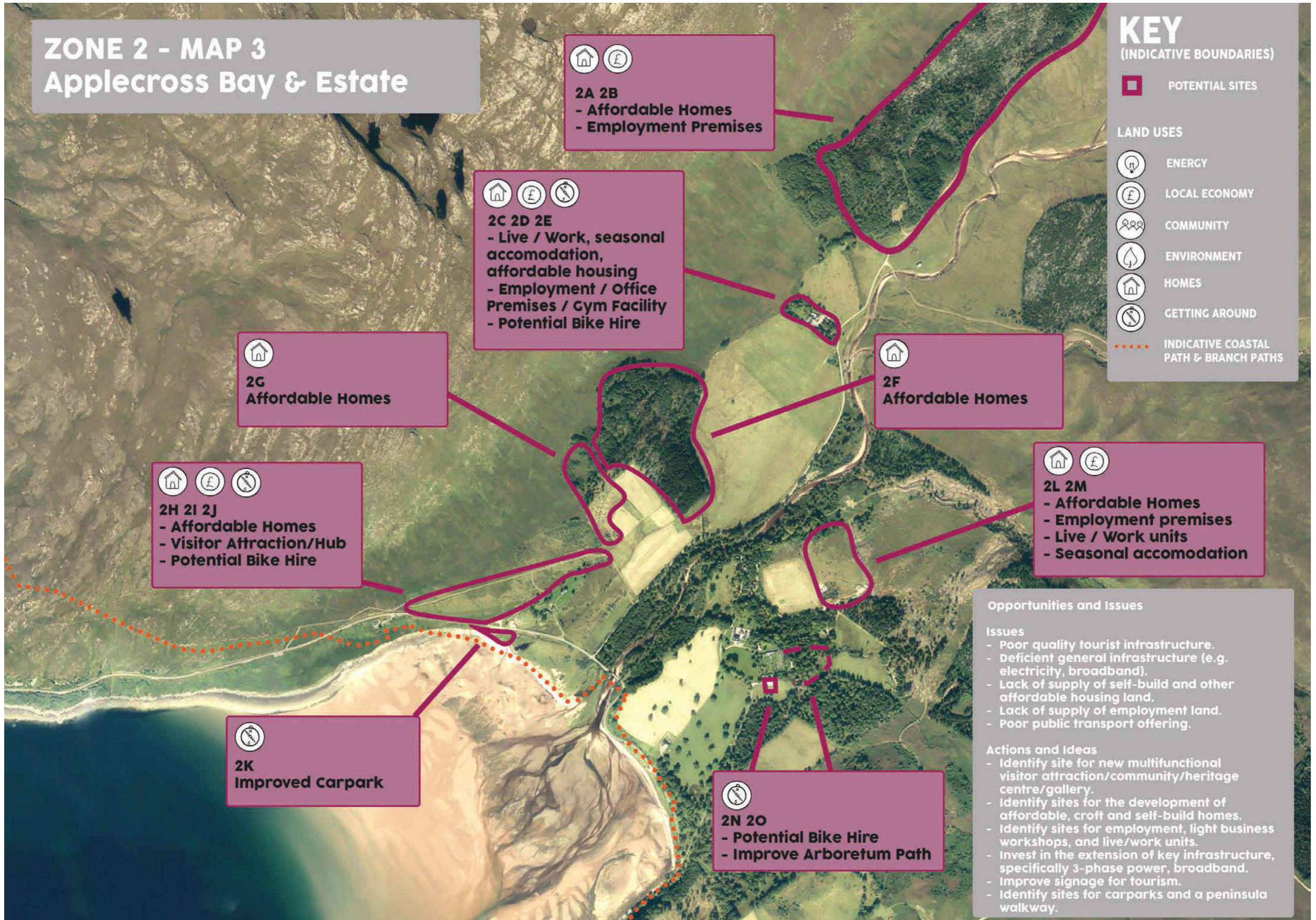
### KEY SITES DEVELOPED IN MORE DETAIL:

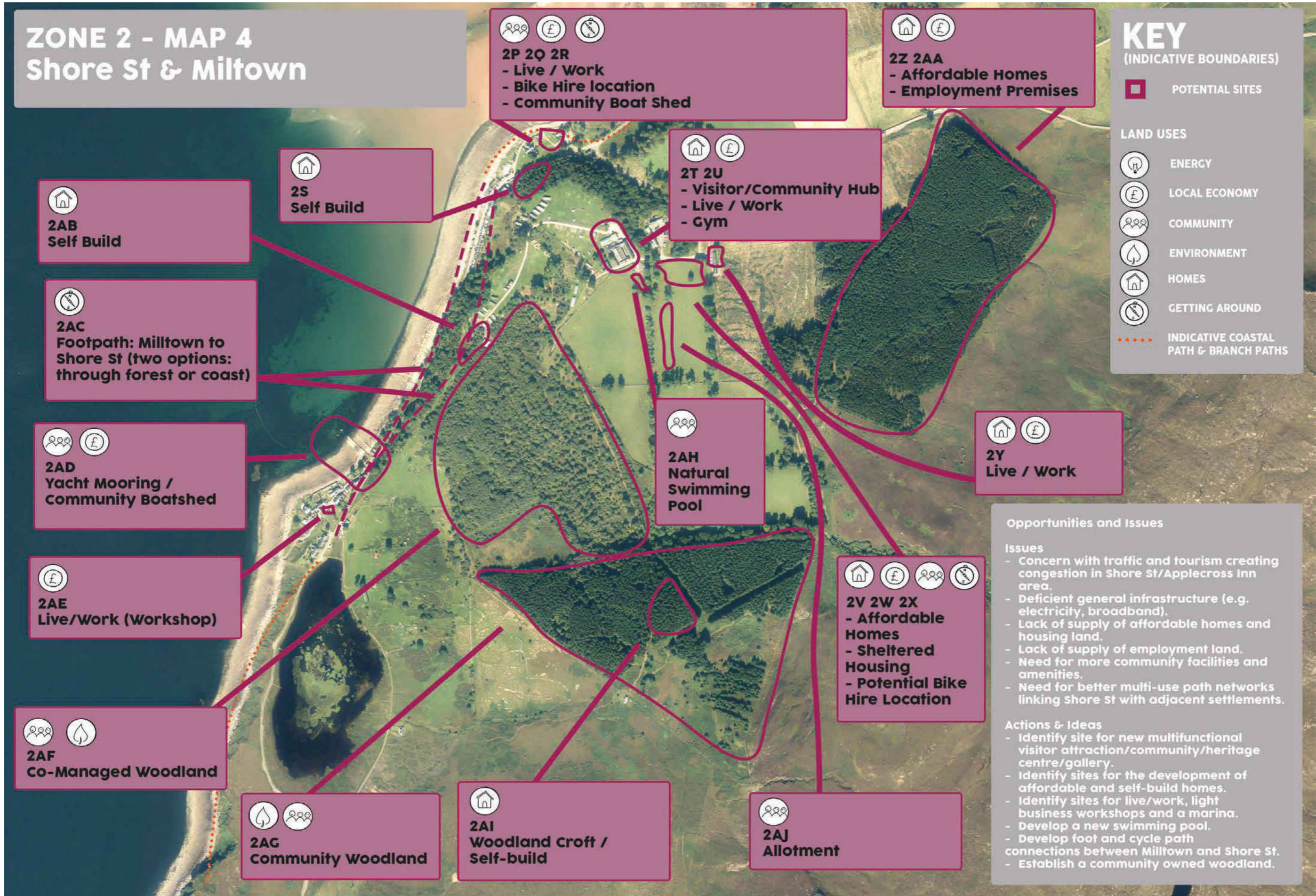
- Hartfield Forest (2A B)
- Hartfield House (2C D E)
- Forest southwest of Hartfield (2F)
- Clachan (2H I J)
- The Sawmill (2L M)
- Shore St Carpark (2P Q R)
- The Steading (2T U)
- Hydro Field (2V W X)
- Smiddy Wood (2Z 2AA)



Shore Street







## HARTFIELD FOREST (2A 2B)

### LOCATION AND AREA

**Location:** the forest is located within the Applecross River strath, around 250m from Hartfield House. It is surrounded by agricultural land, with a slope restricting the site from the north.

**Area:** approximately 37 ha.

### DESCRIPTION

Currently the site is a (non native) conifer farm woodland. The site slopes towards the southeast. It is restricted by a track to the southeast and a mass of hills to the north and northwest. Slopes and levels vary significantly across the site, and a couple of burns are present. The area seems to have naturally good drainage due to its slope. The adjacent level land on the other side of the track is boggy. Ground conditions are poor due to forestation, tree felling and level differences.

Site Analysis drawing does not show the entire site due to its size. The area outside the drawings is too steep to be developed for housing; it could be retained as a woodland.

### LANDSCAPE CHARACTER TYPES / LAND DESIGNATIONS

- Narrow farmed strath SNH character type
- Remote Strath local character type
- Landscape Partnership Area

(refer to horner+maclennan Landscape Character Assessment)

### INFRASTRUCTURE/SERVICES

- Electricity: Mains electricity
- Water: Private system required.
- Sewage: To be connected to the existing public Scottish Water sewerage system
- Access: site is accessible from the road leading to Clachan and further to Shore Street. Potential improvements needed to access road.

### PROPOSED DEVELOPMENT

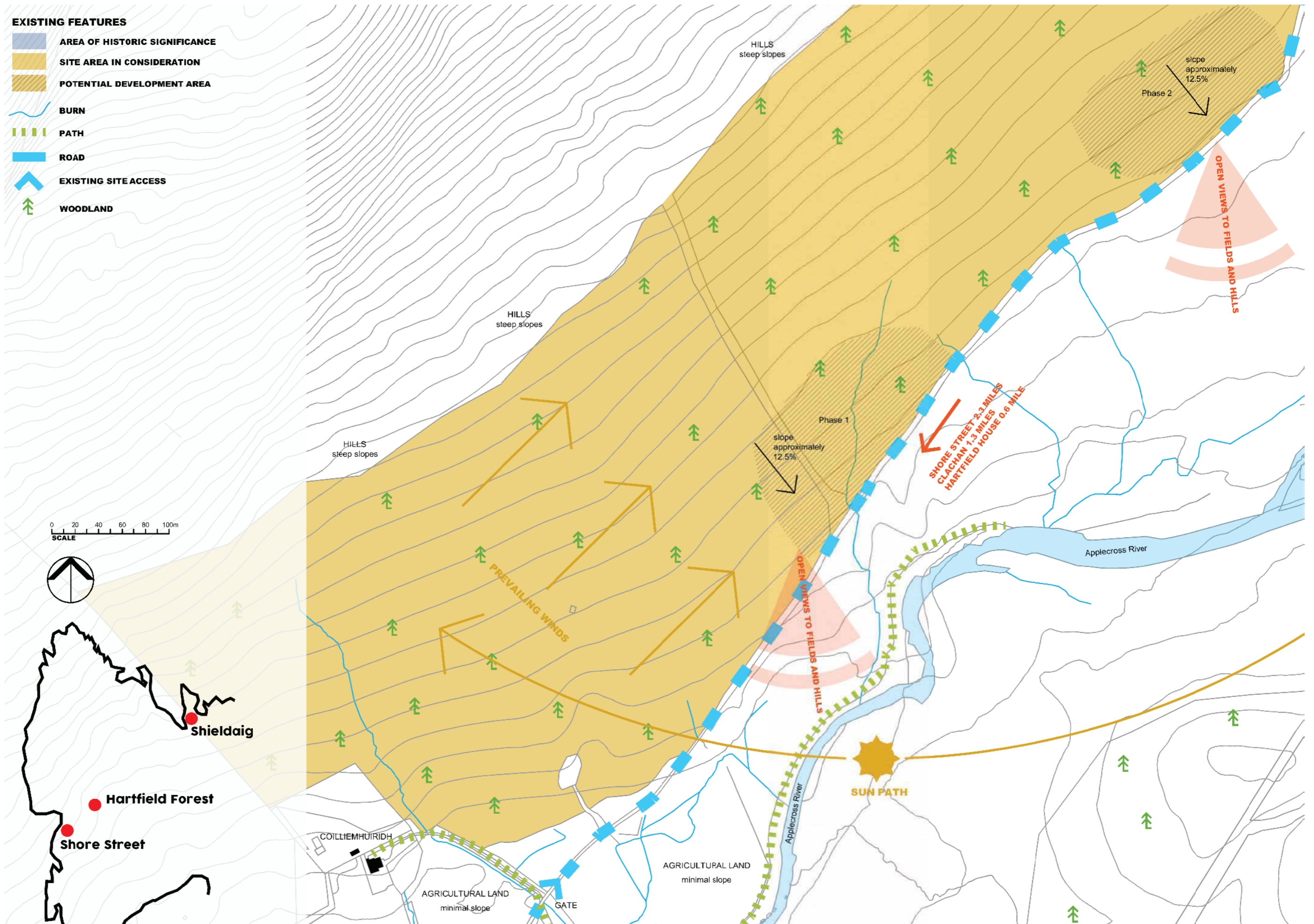
Mixed Use: Self-build, woodland crofts, affordable housing, live/work.

### RELATIVE PLACEMAKING PRIORITIES

- Identifying and making land and buildings available for affordable housing for local residents of all ages and those wishing to make a long lasting contribution to the community. Sites should be of a size, capacity and location that is viable and close to facilities including an energy supply.
- Identifying and making land available for self-build plots of a suitable scale and infrastructure
- Identifying sites for new crofts (agriculture and forestry)
- Promoting sustainable development.



Site Photos



### DEVELOPMENT POTENTIAL

**Use & Development Type:** Self-build, woodland crofts, affordable housing, live/work.

The more level sections of the site, located along the existing track, could be utilised for affordable or self-build housing. Following the tree felling, the site will benefit from excellent views to south and southeast. It is fully visible from the sawmill site.

The site is located within the remote strath local character type'. Housing development in this location should follow a pattern of a clustered crofting settlement' local character type.

This landscape character type comprises a cluster of houses that forms a focus within a surrounding landscape. The buildings seem linked by a proximity that creates a sense of cohesion; however, they vary in spacing, elevation and orientation, and their relationship to the underlying landscape.'

**Capacity:** Medium - High (5-20+ housing units). The site has capacity to comfortably accommodate, on the more level areas, two clusters of 3-4 new houses with their enclosures and ancillary structures e.g. garden sheds. The size of the site could permit much bigger development if engineered platforms and substantial land cutting are considered a suitable solution. This may not be an appropriate approach due to potential impact on the landscape.

### DESIGN & FORM

House design could follow the massing and roof/wall proportions typical in townships in the area. The nearby Coille Mhuiridh house should be used for reference. The main mass of the typical building in the area is based on a relatively shallow (approximately 6.5m) footprint (approximately 75m<sup>2</sup>), is single or one and a half stories in height, with vertical windows and pitched roof, often with dormers. The need for additional area can be satisfied by adding "extension like" elements to the main mass of the building. These extensions should not disturb the main roof/walls proportions. The use of traditional materials is recommended, e.g.: white wet dash render; stone; timber; slate; and metal sheet. Modern interpretation of traditional architecture that meets current needs and uses modern materials to their full potential, e.g. glass, is also encouraged.

To address the lack of housing, the use of 'Cottage flat' types is encouraged. These consist of two single floor dwellings at ground level, and similar dwellings on the floor above, within one building of a single house scale. Each flat has a door directly to the outside of the building. An Applecross specific variation of this type, respecting all local restrictions, may be developed.

The new detached houses should be located within the individual enclosures (area approximately 800-1000m<sup>2</sup>). The location should be in close proximity to the new access road (in place of existing path and track) and in areas of minimal slope to remove the need for engineered platforms. The longer edge of the building should be facing south, maximising direct sunlight, and should contain larger areas of glazing to allow passive solar gain and good quality daylight. South and south-west areas should be protected from the prevailing winds, with native trees distant enough to not overshadow the building. There should be minimal glazing on the north elevation; this is also the best location for adding the unheated "extensions" and porches acting as thermal buffers.

Where site boundaries are required, the use of dry stone walls, hedges and timber fences is encouraged. The use of urban materials, such as concrete kerbs, paving slabs etc. should be avoided. Site boundaries should utilise planting to reduce the impact of new houses on the landscape.

**Flood Risk:** New buildings should be located away from watercourses to avoid the need to assess potential flood risk. Any development must meet the flood risk avoidance principles outlined in Scottish Planning Policy and The Highland Council's flooding Policy contained within the Local Development Plan.

*'refer to horner+maclennan Applecross landscape character assessment*

## HARTFIELD HOUSE (2C D E)

### LOCATION AND AREA

**Location:** this site lies within the Applecross River strath and is located about 1 mile northeast from Clachan. It is surrounded by agricultural land and restricted by a mass of hills from the north.

**Area:** approximately 1.6 ha.

### DESCRIPTION

The site is land associated with Hartfield House – a large, symmetrical, two storey and roof, u-shaped house with a front courtyard located against the backcloth of aslope restricting the site to the north. The site and the house have been altered in the past. There are currently a number of buildings and extensions scattered around the site, including a gym, single storey house extension, couple of residential buildings, a couple of shipping containers and a shed. The site is relatively level and a number of mature trees are dotted around, including a large monkey puzzle tree in front of the house.

### LANDSCAPE CHARACTER TYPES / LAND DESIGNATIONS

- Narrow farmed strath SNH character type
- Wider policy woodland and estate settlement local character type
- Landscape Partnership Area

( refer to horner+maclennan Landscape Character Assessment)

### INFRASTRUCTURE/SERVICES

- Electricity: Mains electricity
- Water: Potentially use existing services, dependent on requirements. Otherwise private system required.
- Sewage: To be connected to the existing public Scottish Water sewerage system
- Access: site is accessible from existing road.

### PROPOSED DEVELOPMENT

Mixed Use: Affordable housing, live/work, temporary accomodation, health & fitness facility, office/employment premises.

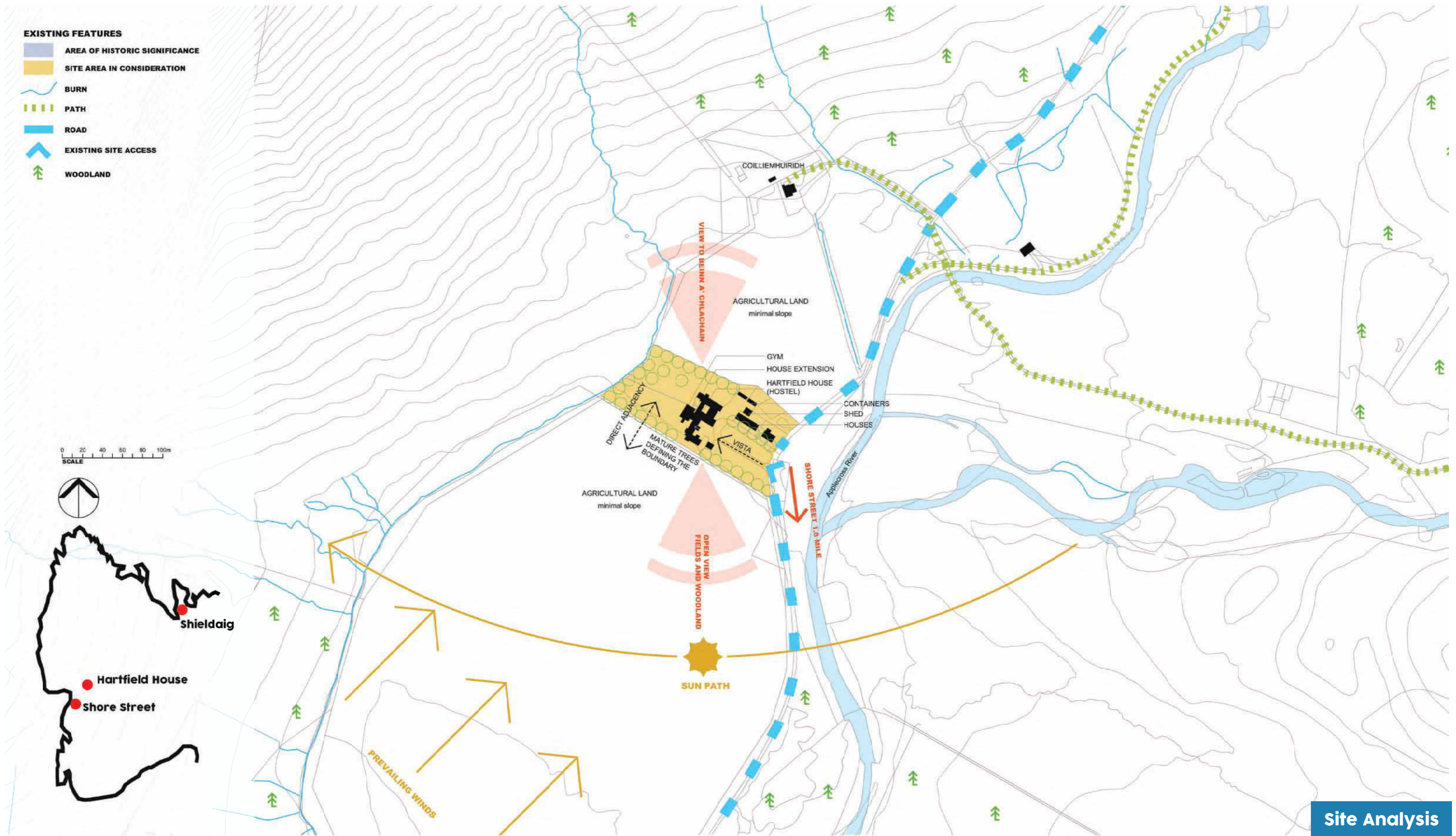
### RELATED PLACEMAKING PRIORITIES

- Identifying and making land available for employment / business premises.
- Supporting live/work units and local entrepreneurs.
- Developing new fitness facilities
- Providing new and expanded active travel/electric car facilities within the village and to ferry and rail connections.
- Identifying and making land and buildings available for affordable housing for local residents of all ages and those wishing to make a long lasting contribution to the community. Sites should be of a size, capacity and location that is viable and close to facilities including an energy supply.
- Promoting sustainable development.



Site Photos

# 4. PLACE - Hartfield House (2C D E) Site Analysis



Site Analysis

### DEVELOPMENT POTENTIAL

**Use & Development Type:** Affordable housing, live/work, temporary accommodation, health & fitness facility, office/employment premises.

The initial development for this site builds on its existing function i.e. residential, hostel and gym/function venue space. Those uses could be reviewed, refreshed and intensified to fully use the capacity of the site. The following changes are suggested for the site: replacement of the gym with a new fit-for-purpose function venue, introduction of new office spaces, conversion of the house extension into dwellings.

A second phase of development would then include the introduction of two new housing blocks, and the introduction of new cabins.

**Capacity:** Low-Medium (1-20 housing units)

- Two new housing blocks – total area up to 300m<sup>2</sup>. 4-5 dwellings
- Existing stone extension conversion – 2-3 dwellings (150m<sup>2</sup>)
- New extension on the back of the house for venue and shared office spaces (up to 400m<sup>2</sup>)
- 6 temporary accommodation cabins (30m<sup>2</sup> each)

### DESIGN & FORM

It is proposed that the existing gym extension is replaced with a new fit-for-purpose extension addressing the need for a gym/venue space and offices spaces. This can be achieved through introducing a symmetrical mass on the back of the house, therefore strengthening the symmetry of the original design. This would also allow the formation of an attractive, potentially modern in language, symmetrical back elevation, and give the venue an external spill out space. The land to the southeast of the site could offer a space for big events, e.g. the highland games.

The linear composition of the existing residential block and the house extension allows for the sympathetic introduction of two further blocks. These could accommodate 2-3 flats each. The single storey stone house extension could be converted into a further 2-3 dwellings. The massing, scale and materiality of facade block work could refer to the stone house extension, reinforcing the impression of "the house and its ancillary buildings". The southwest orientation of the proposed blocks have strong potential for the use of passive solar gain to minimise heating requirements.

The back section of the site could be successfully used to locate a number of cabins dotted between the mature trees. These could be used either for rent or as accommodation for seasonal workers. A section of this area could be used as external sports facilities associated with the new use.

A strong line of native trees along the southwest edge of the site would assist in minimising the heat losses caused by prevailing winds and minimise impact on the landscape. A large flat site, and the fact it is managed by one owner, create a unique opportunity for the efficient use of ground source heat pumps for heating.

If all the above elements are developed, the site could provide a self-contained work and live scheme.

**Flood Risk:** The majority of the site appears to be within a 1:200 year flood event zone, with the exception of the north west corner. This would then have an implication for any new development. In this instance the site will require a full flood risk assessment prior to any planning application proposal due to its location within a flood risk area. Thereafter, areas liable to flood risk will be excluded from the final proposal.



# FOREST SOUTHWEST OF HARTFIELD HOUSE (2F)

### LOCATION AND AREA

**Location:** the forest is located within Applecross River strath, around 0.5 mile southwest from Hartfield House and 0.5 mile northeast from Clachan. It is surrounded by agricultural land and a steep slope restricting the site from the north.

**Area:** approximately 10 ha.

### DESCRIPTION

Currently the site is a (non-native) conifer farm woodland. The site slopes towards the southeast. Its southern corner is 80m away from the road. Slopes and levels vary significantly across the site. There are a number of field drains present on the site. Adjacent areas to the east and south are boggy. The ground conditions are poor due to forestation, tree felling, level differences and the surface water present on site.

### LANDSCAPE CHARACTER TYPES / LAND DESIGNATIONS

- Narrow farmed strath SNH character type
- Wider policy woodland and estate settlement local character type
- Landscape Partnership Area

(refer to horner+maclennan Landscape Character Assessment)

### INFRASTRUCTURE/SERVICES

- Electricity: Mains electricity
- Water: Private system required.
- Sewage: To be connected to the existing public Scottish Water sewerage system.
- Access: site is 80m away from from the road leading to Clachan and further to Shore Street. An access point will need to be formed if development proceeds.

### PROPOSED DEVELOPMENT

Mixed Use: Affordable, self-build housing, woodland croft.

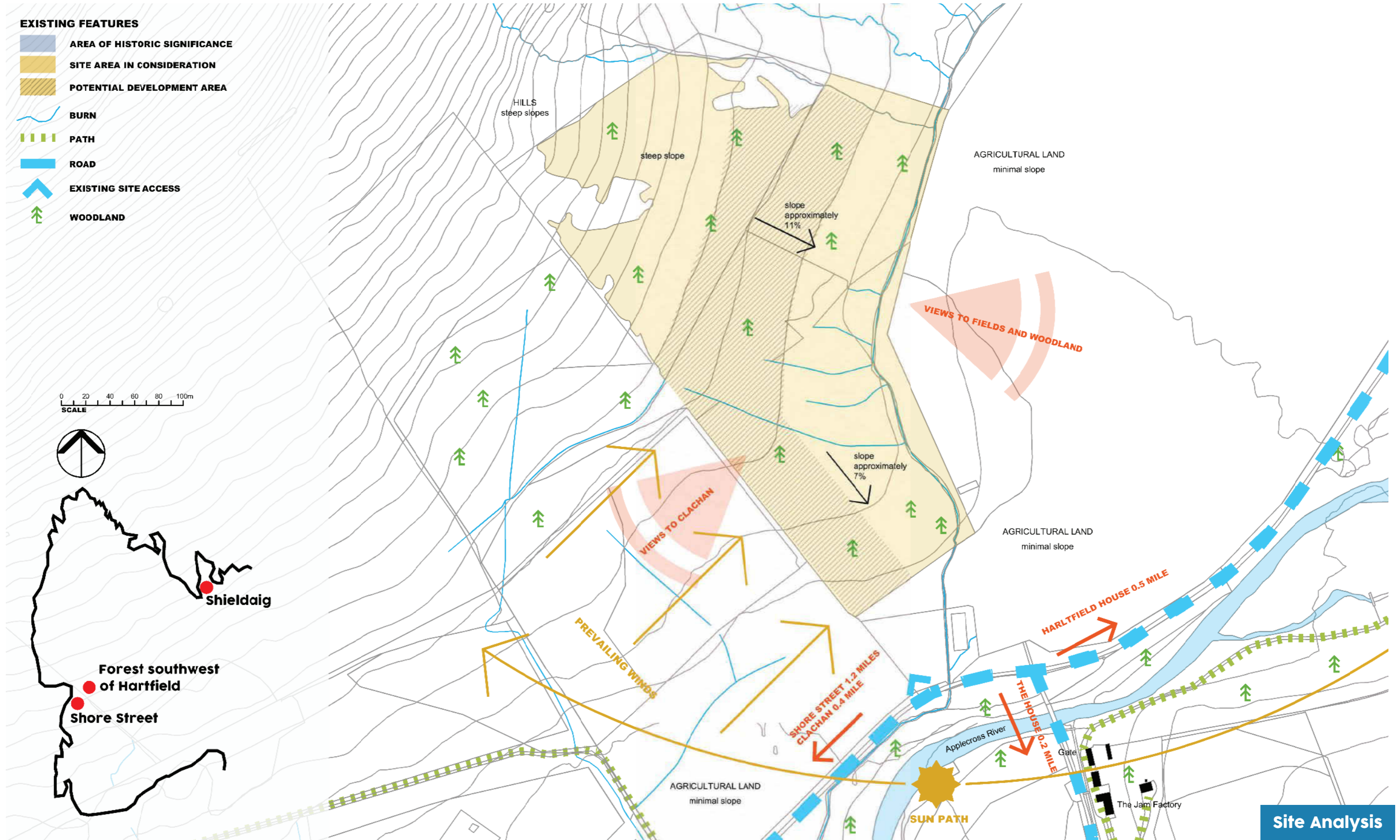
### RELATED PLACEMAKING PRIORITIES

- Identifying and making land and buildings available for affordable housing for local residents of all ages and those wishing to make a long lasting contribution to the community. Sites should be of a size, capacity and location that is viable and close to facilities including an energy supply.
- Identifying and making land available for self-build plots of a suitable scale and infrastructure
- Identifying sites for new crofts (agriculture and forestry)
- Promoting sustainable development.



Site Photos

# 4. PLACE - Forest southwest of Hartfield (2F) Site Analysis



Site Analysis

### DEVELOPMENT POTENTIAL

**Use & Development Type:** Affordable, self-build housing, woodland croft. Following any potential tree felling the site will benefit from south and southeast orientation and excellent views.

**Capacity:** Low-Medium (1-20 housing units). The site has capacity to accommodate, depending on layout, up to two clusters of 1 to 3 houses or 1 to 7 individual houses, or a combination of the above. Due to significant slopes, the north of the site is not developable.

This site could also be suitable for woodland crofts. There is potential for up to two woodland crofts with associated houses (approximately 100m<sup>2</sup> footprint) of approximately 5ha each.

### DESIGN & FORM

The site is located within the wider policy woodland and estate settlement local character type. Housing development in this location should source inspiration from other small scale houses within this character type. Clusters of similar scale simple buildings organised along a road like the nearby "Jam Factory" or the Kennels are a good example. Individual houses located against a backdrop of a slope or a forest, common across the Applecross peninsula, are also suitable.

House design should follow the massing and roof/wall proportions typical in the estate area. It is recommended that the proportions of adjacent historic agricultural buildings should be referred to. The nearby Coille Mhuiridh house could also be used for reference. The main mass of the typical building in the area is based on a relatively shallow (approximately 6.5m) footprint (approximately 75m<sup>2</sup>) and is single or one and a half stories in height, with vertical windows and pitched roofs, often with dormers. The need for additional area can be satisfied by adding "extension like" elements to the main mass of the building. These extensions should not disturb the main roof/walls proportions. The use of traditional materials is recommended, e.g.: white wet dash render; stone; timber; slate; and metal sheet. Modern interpretation of traditional architecture that meets current needs and uses modern materials to their full potential, e.g. glass, is strongly encouraged.

In order to address the lack of housing, use of "Cottage flat" types could be considered. These consist of two single floor dwellings at ground level, and similar dwellings on the floor above within one building of a single house scale. Each flat has a door directly to the outside of the building. An Applecross specific variation of this type, respecting all local restrictions, may be developed.

The new detached houses should be located in close proximity to the new access road and in areas of minimal slope to remove the need for engineered platforms. The longer edge of the building should be facing south (unless it needs to be oriented along the road) to maximise direct sunlight, and should contain larger areas of glazing to increase passive solar gain and good quality daylight. South and south-west areas should be protected from the prevailing winds with native trees distant enough to not overshadow the building. There should be minimal glazing on the north elevation; this is also the best location for adding the unheated "extensions" and porches, which will act as thermal buffers.

Where a site boundary is required, the use of dry stone walls, hedges and timber fences is encouraged. Use of urban materials like concrete kerbs, paving slabs etc. should be avoided. Site boundaries should utilise planting to reduce the impact of new houses on the landscape.

**Flood Risk:** Houses should avoid areas of poor ground condition and being located near watercourses to avoid the need to assess potential flood risk. Any development must meet the flood risk avoidance principles outlined in Scottish Planning Policy and The Highland Council's flooding Policy contained within the Local Development Plan.



*refer to horner+maclennan Applecross landscape character assessment*

## CLACHAN (2H I J)

### LOCATION AND AREA

**Location:** the rough grassland site is located to the north part of Applecross Bay. It is restricted by the road and parking to the south and a historic parish church, manse and Heritage Centre to the southwest.

**Area:** approximately 8.8 ha.

### DESCRIPTION

The site consists of two relatively flat plateaus with a steep slope (approximately 6-7m) inbetween. The mass of the Beinn A'Clachain to the north forms a backdrop for the setting. The site benefits from spectacular views towards the bay and towards the hills in central Applecross and Bealach na Ba. The adjacent sites, including the church, cemetery, manse and Heritage Centre, have significant heritage value. The church and the manse buildings are listed, and within the location of a monastic settlement area with Scheduled Monument status.

There is a burn running through the site and it is fully exposed to the prevailing winds.

### LANDSCAPE CHARACTER TYPES / LAND DESIGNATIONS

- Narrow farmed strath SNH character type
- Wider policy woodland and estate settlement local character type
- Landscape Partnership Area

(refer to horner+maclennan Landscape Character Assessment)

### INFRASTRUCTURE/SERVICES

- Electricity: Mains electricity
- Water: Private system required.
- Sewage: To be connected to the existing public Scottish Water sewerage system
- Access: the site can be accessed from the car park located on the main road between Shore Street and Shieldaig, which borders the site to the south. An existing path runs east-west on the upper portion of the site; it enters the site at its western-most point and links with the church.

### POTENTIAL DEVELOPMENT

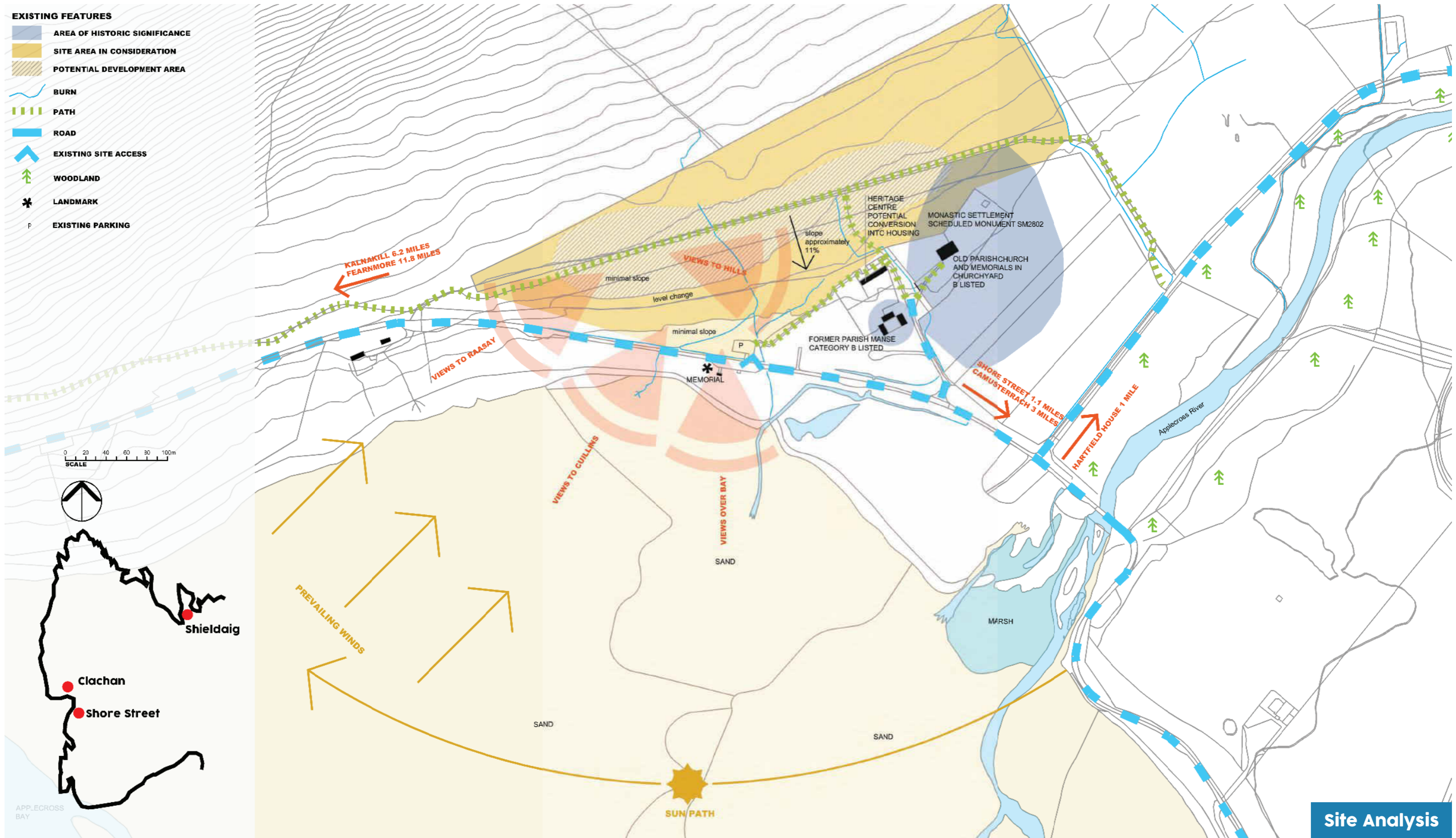
- Mixed Use: Visitor attraction, affordable housing.

### RELATED PLACEMAKING PRIORITIES

- Identifying and making land available for employment / business premises.
- Encouraging tourists to spend time in Applecross.
- Identifying and making land available for a new multi-functional visitor attraction.
- Providing new and expanded active travel/electric car facilities within the village and to ferry and rail connections.
- Improving parking and public transport provision.
- Identifying and making land and buildings available for affordable housing for local residents of all ages and those wishing to make a long lasting contribution to the community. Sites should be of a size, capacity and location that is viable and close to facilities including an energy supply.
- Ensuring development proposals respect local heritage and marine interests
- Promoting sustainable development.



Site Photos



Site Analysis

### DEVELOPMENT POTENTIAL A

**Use & Development Type:** New visitor attraction.

The detailed brief for this type of building requires further development. Currently it is assumed it would be a multifunctional, flexible building containing uses like exhibition spaces, new heritage centre, a café, shop, function room, bike rental, laundry, flexible office/leisure spaces, workshops etc. The main role of the building would be to provide new employment opportunities, retain NC500 visitors and divert tourism away from the south of Applecross. Local residents will also use the spaces in the building, and the main community hub will remain in the south of the peninsula.

**Capacity:** Medium - High. Approximately 2000m<sup>2</sup> of multi-use space and up to 50 new parking spaces.

### DESIGN & FORM

The new visitor attraction should be considered a landmark building; acceptable if a high quality design proposal is put forward. Reference to local features e.g. geology, geography, materials etc. will help to fit the building within the social and natural environment.

Using the steep slope to embed the building within the mass of the hill and the introduction of dramatic rooflights, will go some way to achieving a bold, landmark building, whilst simultaneously minimising its impact on the landscape. Locating the building within the slope will also allow a significant footprint of around 2000m<sup>2</sup>. A green roof, accessible from the existing footpath on the upper plateau, could form a series of viewing terraces and contribute to the local wildlife habitat.

The south facing orientation of a new building, and buried structure, can be used to achieve energy savings by using the Passive House or Earthship principles. The large flat area of the site creates a unique opportunity for efficient use of ground source heat pumps for heating.

It may be appropriate to relocate the existing Heritage Centre to the new building. The existing heritage building (approximately 150m<sup>2</sup> footprint) could then either be converted into up to three small dwellings or refurbished to accommodate some of the uses mentioned above e.g. bike rental, laundry or offices.

The lower plateau has capacity to accommodate up to 50 new parking spaces, with the potential for additional overspill parking which could be used for other activities, e.g. Farmers Market. Careful assessment of parking provision will be needed to avoid any effect on the scheduled monument setting. The use of urban materials such as concrete kerbs, paving slabs, tarmac etc. should be avoided in order to minimise the building's impact. Native trees should be used to minimise impact and provide some protection from the wind.

**Flood risk:** The final location of the building will have to be shown to avoid flood risk and include a buffer of at least 6m between the top of the banks of the watercourse and built development. Watercourse crossings should be traditional style bridges. Site will require a full flood risk assessment prior to any planning application proposal

**Heritage Consideration:** The site is adjacent to a number of key heritage sites: the Applecross Monastic Settlement (SM2802), the B listed Old Parish Church (LB456) and Manse (LB457). It is important to consider the impact on the monastery's setting, particularly where development may detract from the character of the surrounding area and the potential for a development to form a backdrop to views of the site from the south and elsewhere. It is assumed that a careful, high quality design will be expected in order to secure planning permission for any development



*\* = All images are indicative and for illustrative purposes only, they are one suggestion of what could happen on a given site.*

**Artist impression\***

### DEVELOPMENT POTENTIAL B

**Use & Development Type:** Affordable housing.

The upper plateau offers the best potential for the location of new affordable or self-build housing. It benefits from excellent views and a south facing orientation. Considering the prominence of the site and its exposure, it is assumed that a careful, high quality design will be proposed in order to secure planning permission for any development.

The site is located on the edge of a wider policy woodland and estate settlement local character type. Housing development in this location should follow a pattern of a Clustered crofting settlement local character type, as described below:

*This landscape character type comprises a cluster of houses that forms a focus within the surrounding landscape. The buildings seem linked by their proximity that creates a sense of cohesion; however they vary in spacing, elevation and orientation and their relationship to the underlying landscape, so that the settlements possess a complex image of the detailed level.*

**Capacity:** Medium-High (5 - 20+ housing units). The site has capacity to accommodate, depending on layout, up to 12 new houses each with enclosures and ancillary structures like garden sheds. Due to landscape impact, the scheduled monument area, and vehicular access requirements, four new homes are suggested in phase one. Phases 2 and 3 could consist of four further houses each.

### DESIGN & FORM

It is recommended that house design follows the massing and roof/wall proportions typical in adjacent townships. The main mass of the typical building in the area is based on a relatively shallow (approximately 6.5m) footprint (approximately 75m<sup>2</sup>), is single or one and a half stories in height, with vertical windows and pitched roofs, often with dormers. The need for additional area can be satisfied by adding "extension like" elements to the main mass of the building. These extensions should not disturb the main roof/walls proportions. The use of traditional materials is recommended, e.g.: white wet dash render; stone; timber; slate; and metal sheet. Modern interpretation of traditional architecture that meets current needs and uses modern materials to their full potential, e.g. glass, is strongly encouraged.

In order to address the lack of housing the use of a 'Cottage flat' type could be considered. These consist of two single floor dwellings at ground level, and similar dwellings on the floor above, all within one building, and the scale of a single house. Each flat has a door directly to the outside of the building. An Applecross specific variation of this type, respecting all local restrictions, could be developed.

The new detached houses should be located within the individual enclosures (area approximately 800-1000m<sup>2</sup>). The location should be in close proximity to the new access road (in place of existing path) and in areas of minimal slope to remove the need for engineered platforms. The longer edge of the building should be south facing as far as possible and contain larger areas of glazing to allow passive solar gain and good quality day light. The south and south-west areas should be protected from the prevailing winds with native trees distant enough to not overshadow the building. There should be minimal glazing on the north elevation; this is also the best location for adding the unheated "extensions" and porches, which will act as thermal buffers.

Where a site boundary is required the use of dry stone walls, hedges and timber fences is encouraged. Use of urban materials like concrete kerbs, paving slabs etc. should be avoided. Site boundaries should use planting to reduce the impact of new houses on the landscape.

**Flood risk:** The final location of the building will have to be shown to avoid flood risk and include a buffer of at least 6m between the top of the banks of the watercourse and built development. Watercourse crossings should be traditional style bridges. Site will require a full flood risk assessment prior to any planning application proposal.

**Heritage Consideration:** The site is adjacent to a number of key heritage sites: the Applecross Monastic Settlement (SM2802), the B listed Old Parish Church (LB456) and Manse (LB457). It is important to consider the impact on the monastery's setting, particularly where development may detract from the character of the surrounding area and the potential for a development to form a backdrop to views of the site from the south and elsewhere. It is assumed that a careful, high quality design will be expected in order to secure planning permission for any development.

*\*refer to horner+maclennan Applecross landscape character assessment*



*\* = All images are indicative and for illustrative purposes only, they are one suggestion of what could happen on a given site.*

**Artist impression\***

## SAWMILL (2L M)

### LOCATION AND AREA

**Location:** The site is located about 250m northeast of Applecross House. It is surrounded by agricultural land and woodlands.

**Area:** 3.24ha.

### DESCRIPTION

The south section of the site is relatively level. It contains an existing sawmill shed (to be replaced) and several inhabited caravans scattered to the east and north of the shed. The northern half of the site slopes to the north, offering great views towards Hartfield House and Applecross River. The site is adjacent to agricultural land to the east and west and woodlands to the north and south.

### LANDSCAPE CHARACTER TYPES / LAND DESIGNATIONS

- Wide farmed strath SNH character type
- Wider policy woodland and estate settlement local character type
- Landscape Partnership Area

(refer to horner+maclennan Landscape Character Assessment)

### INFRASTRUCTURE/SERVICES

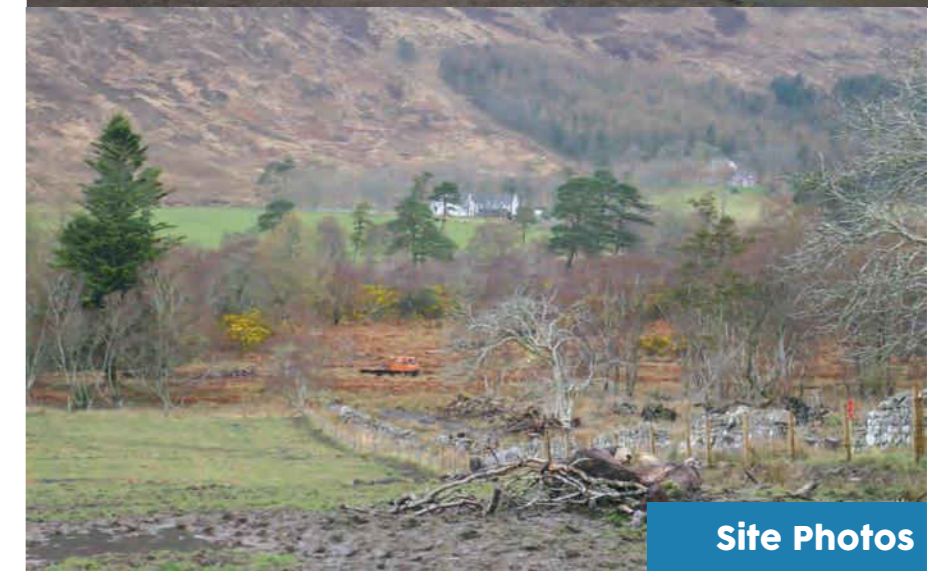
- Electricity: Mains electricity
- Water: Private system required.
- Sewage: To be connected to the existing public Scottish Water sewerage system
- Access: the site is accessible from the road leading to Applecross House to the west and connecting to Bealach na Ba to the east. May require additional road improvements dependent on density of development.

### POTENTIAL DEVELOPMENT

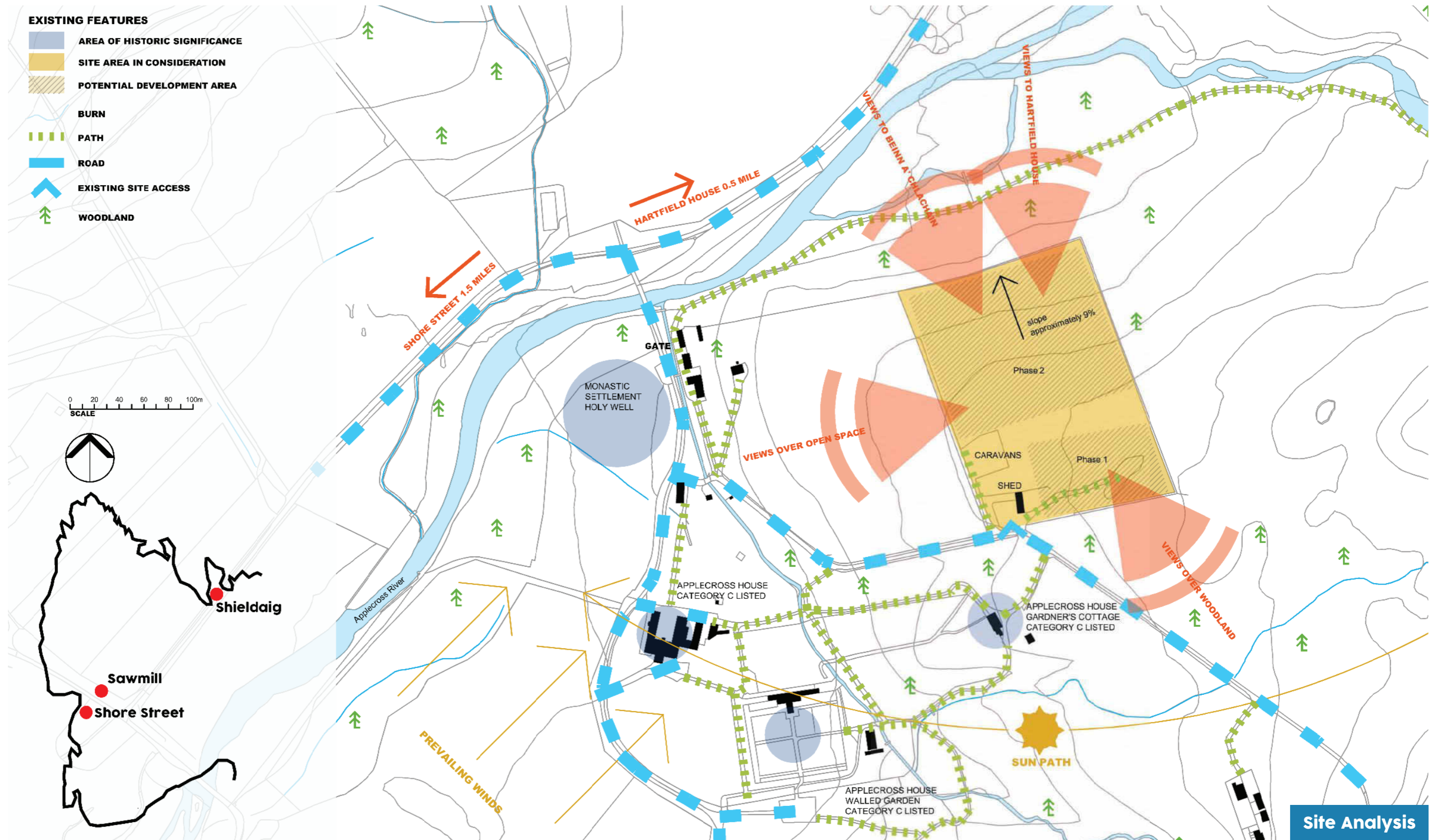
- Mixed Use: Temporary accommodation, employment premises, live/work units, affordable homes.

### RELATED PLACEMAKING PRIORITIES

- Identifying and making land available for employment and business premises.
- Supporting live/work units and local entrepreneurs.
- Identifying and making land and buildings available for affordable housing for local residents of all ages and those wishing to make a long lasting contribution to the community. Sites should be of a size, capacity and location that is viable and close to facilities including an energy supply.
- Promoting sustainable development.







Site Analysis

### DEVELOPMENT POTENTIAL

**Use & Development Type:** Temporary accommodation, employment premises, live/work units, affordable homes.

The proposed use for this site builds on its existing function i.e. sawmill and temporary accommodation. The site is split naturally by its topography. It is easily accessible from the existing road at its southwest corner. The existing shed is to be replaced by a new one in a similar location. Light industrial units could be located in the southeast quarter of the site to fully utilise the flat portion of the site and the existing access. The northern portion of the site could be used for accommodation for seasonal workers.

**Capacity:** Medium (5-20 housing units)

- 1200-1500m<sup>2</sup> for light industrial unit (including courtyard),
- 1 detached house within 0.1ha enclosure,
- Up to 34 seasonal pods and associated parking

### 1.3 DESIGN & FORM

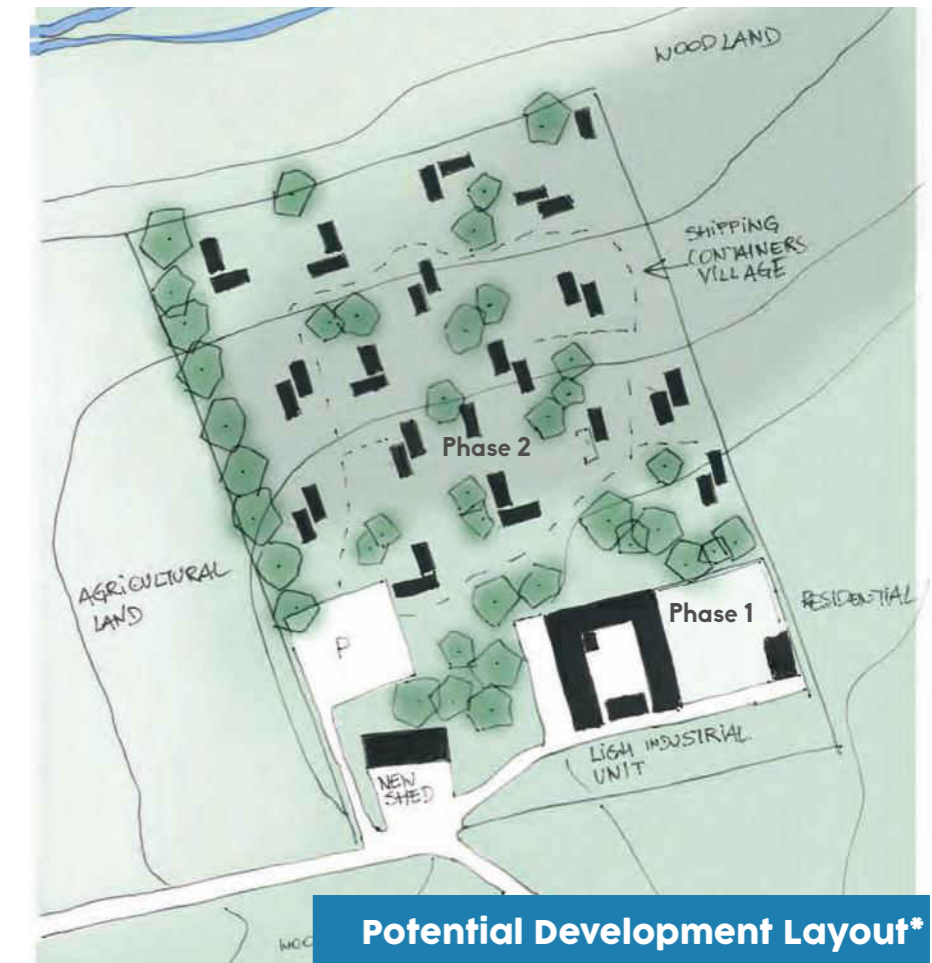
The scale/massing/layout of the light industrial development could be inspired by the existing C listed steading, located near Shore Street i.e. a U shaped or rectangular building laid out around a courtyard accommodating a number of flexible spaces subdivided according to varying needs. A cottage/house could be located behind the industrial unit to fully reflect the existing steading/Dairy Cottage arrangement. The two distinct areas of the site could be separated with native trees to form a natural border between uses and minimise the impact on the landscape.

A north facing slope is normally not recommended for housing purposes, therefore careful siting and orientation of the seasonal accommodation units to maximise their direct sunlight is required. The flat area behind the shed currently occupied by caravans could be used for parking. This section of the site is very exposed therefore the introduction of native tree clusters to minimise wind related energy losses is essential. This is also needed to minimise the impact of the development on the landscape when seen from the Hartfiled House area. It is crucial that the accommodation pods are designed/insulated for whole year use, to minimise the issues associated with obtaining fuel storage for heating. For the same reason the pods should be arranged in couples to minimise heat loss.

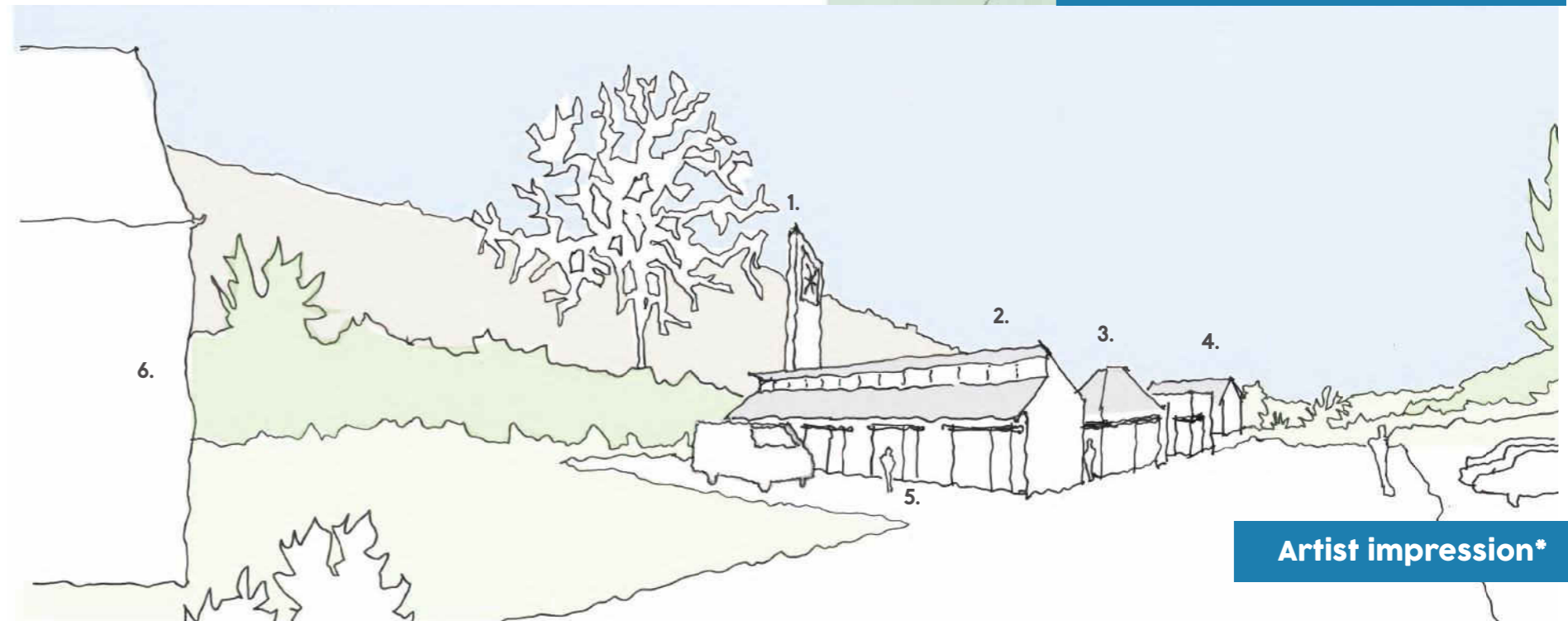
**Flood risk:** The final location of the building will have to be shown to avoid flood risk and include a buffer of at least 6m between the top of the banks of the watercourse and built development. Any development must meet the flood risk avoidance principles outlined in Scottish Planning Policy and The Highland Council's flooding Policy contained within the Local Development Plan.

1. Sculptural tower acts as both beacon to the workshop and wind turbine
2. New workshop spaces with courtyard arrangement inspired by the existing steading typology
3. Entrance unit to workshops to house relevant display / shop
4. Adjacent residential unit for workshop users
5. Vehicular access for workshops
6. New position of the relocated shed

*\* = All images are indicative and for illustrative purposes only, they are one suggestion of what could happen on a given site.*

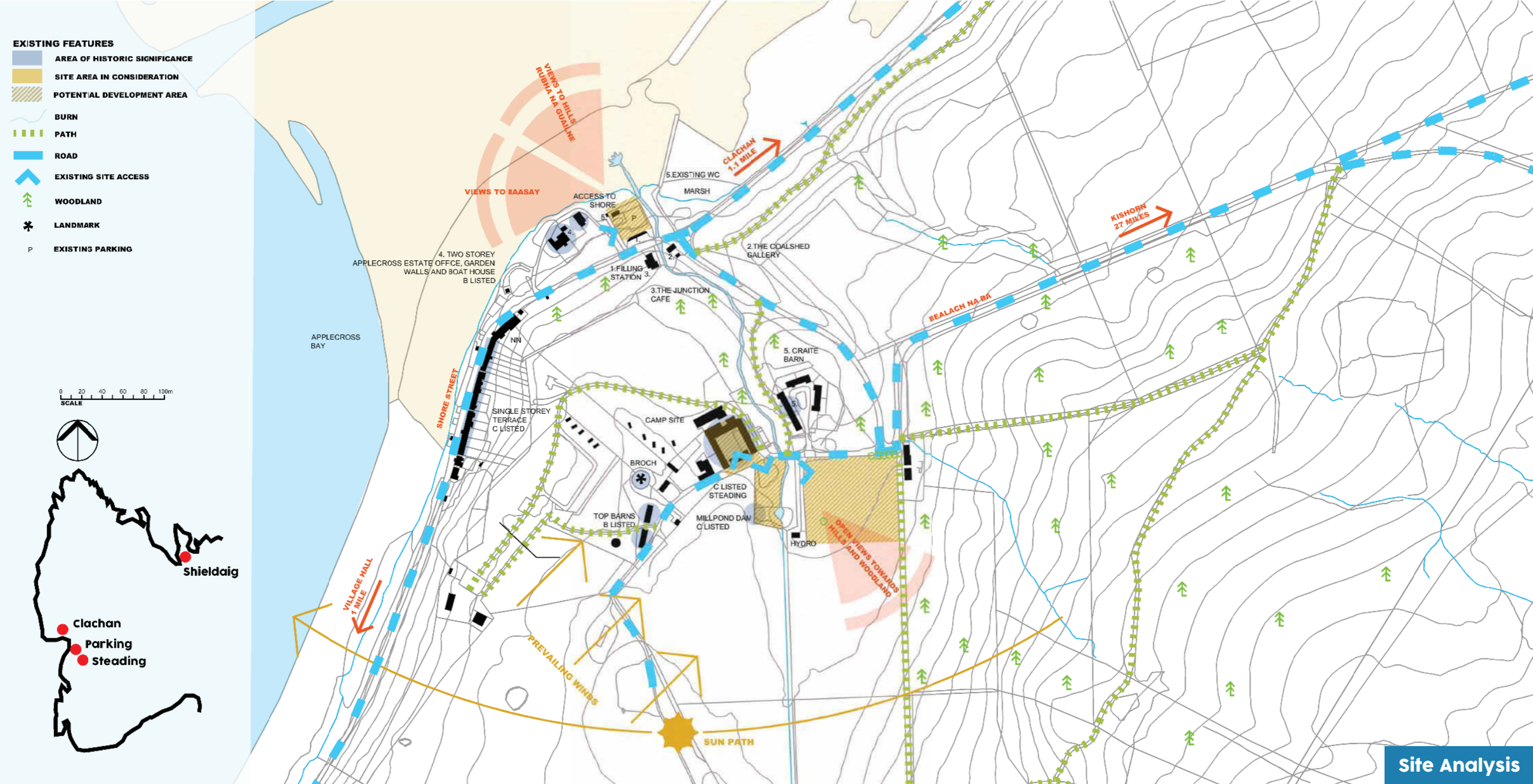


**Potential Development Layout\***



**Artist impression\***

# 4. The Steading (2T U) Carpark (2P Q R) Hydro Field (2V W X) Site Analysis



Site Analysis

## THE STEADING (2T 2U)

### LOCATION AND AREA

**Location:** The steading is located around 500m from Shore Street and 100m from the Smithy Farm buildings at Bealach na Ba. It is adjacent or in close proximity to a number of relevant sites like the Camp Site, Hydro, Craite Barn, Broch and Top Barns.

**Area:** The steading area is 1480m<sup>2</sup>, of which about 800m<sup>2</sup> is occupied by buildings surrounding a courtyard. The adjacent site is separated by a road and is approximately 1750m<sup>2</sup>.

### DESCRIPTION

The steading is a mid 19th century, U-plan single storey plus attic farm steading, with a free standing 5-bay block in the centre of a U-shaped building, forming an open square. The building is harled. It has a number of architectural features including a polygonal cupola. The building is currently used for agricultural purposes and storage of farm machinery (also historical). On the other side of the road a flat site spatially associated with the hydro plant is located. It contains a mid-19th century squared rubble millpond dam and a sluice with grooved jambs for a former sluice gate. According to Historic Environment Scotland the served wheel is stored at the steading.

### LANDSCAPE CHARACTER TYPES / LAND DESIGNATIONS

- Wide farmed strath SNH character type
- Backcloth slopes local character type
- Landscape Partnership Area

(refer to horner+maclennan Landscape Character Assessment)

### INFRASTRUCTURE/SERVICES

- Electricity: AppleJuice/Existing mains electricity (dependent on existing capacity).
- Water: Existing water services (dependent on existing capacity).
- Sewage: To be connected to the existing public Scottish Water sewerage system.
- Access: The site is located centrally within Applecross. The steading and the site can be directly accessed from the road connecting to Bealach na Ba. However, the road may require improvement as the bridge is considered inadequate for increased use, according to previous development attempts. Existing paths link indirectly with Miltown and Loch a'Mhulinn.

### POTENTIAL DEVELOPMENT

Mixed Use: Live/work units, affordable housing, employment premises, fitness facilities.

### RELATED PLACEMAKING PRIORITIES

- Identifying and making land available for employment / business premises.
- Supporting live/work units and local entrepreneurs.
- Developing new fitness facilities
- Identifying and making land and buildings available for affordable housing for local residents of all ages and those wishing to make a long lasting contribution to the community. Sites should be of a size, capacity and location that is viable and close to facilities including an energy supply.
- Locating new development close to energy generation schemes.
- Ensuring development proposals respect local heritage and marine interests.
- Promoting sustainable development.



Site Photos

### DEVELOPMENT POTENTIAL

**Use & Development Type:** Live/work units, affordable housing, employment premises, fitness facilities.

The existing building offers a great opportunity for a creative conversion. Considering its substantial area and central, well connected location, it could satisfy a significant number of pressing needs within the community: business units, small residential units, sport spaces.

**Capacity:** Low-Medium. Approximately ten 68m<sup>2</sup> units (68m<sup>2</sup> is the size of a two-bedroom flat or a shared work unit) could be accommodated within the existing building.

### DESIGN & FORM

The shape of the building could allow a simple separation between the uses such as: residential (small units); shared office spaces; workshops (employment opportunities); retail units; gym. The south facing courtyard has a potential to be shared between all of these uses. The introduction of a modern extension in the courtyard would allow some of the area to be useable during bad weather periods (internal shared space) and significantly enhance the quality of the overall space. A folding glazed wall could allow seamless transition between internal and external spaces, whilst also improving the energy efficiency of the buildings.

One of the ideas from the community suggested using the mass of the existing roofed structure in the courtyard for a multi-purpose sports space. If this is to happen, issues associated with noise and sunlight provision for the other units could be challenging. The location of the sports area in the community hall, by perhaps refurbishing the existing facilities, could be a better way to address this need. The suite of facilities needed by the community should be analysed in depth to allow efficient distribution of uses across the buildings.

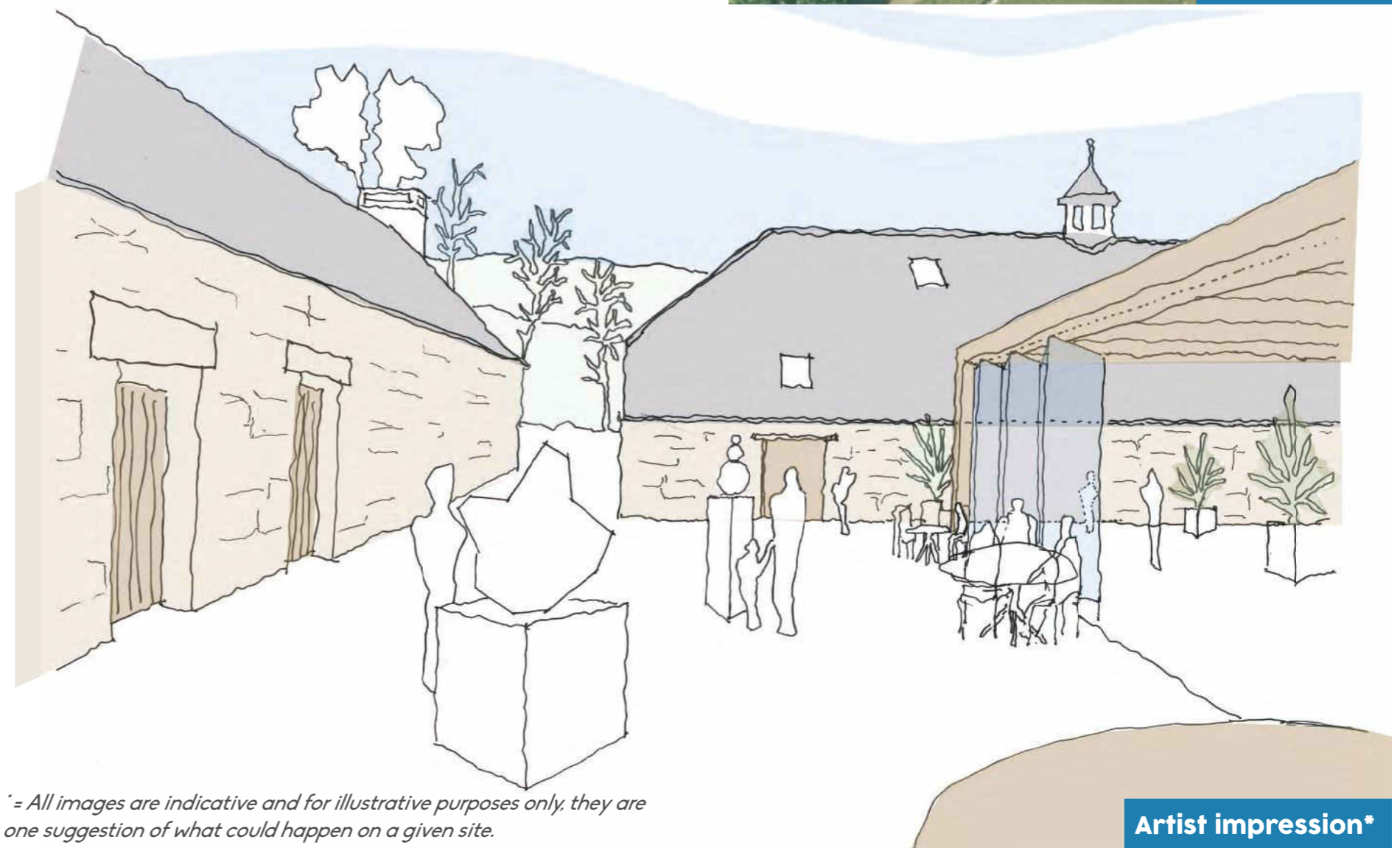
The area on the other side of the road could provide parking spaces. The existing pond next to the hydro facility has been suggested as a natural swimming pool, reinforcing the idea of a gym in the main building. The link between the pool and the building should be thoughtfully landscaped and carefully designed. Urban materials like concrete kerbs or paving slabs, need to be avoided.

Liaison with the Listed Buildings department of the Highland Council will need to take place for conversion of the steading. Given the age and the original use of the building, its energy-efficiency is very poor. Any conversion needs to be designed with energy efficiency improvements in mind, to address climate change issues, minimise running and maintenance costs, and improve comfort of use. Commissioning a specialist architect/consultant is essential.

Flood Risk: Proposals for housing or other overnight accommodation will need to be supported by a Flood Risk Assessment which demonstrates the building is not at risk of flooding.



Aerial photo



Artist impression\*

\* = All images are indicative and for illustrative purposes only, they are one suggestion of what could happen on a given site.

## SHORE STREET CARPARK (2P Q R)

### LOCATION AND AREA

**Location:** The existing carpark is located just off Shore Street at the west end of Bealach na Ba. It is surrounded by the filling station to the south, the Estate House site to the west, the shore of Applecross Bay to the north and Allt Breugaireachd burn to the east.

**Area:** The approximate area is 0.1 ha. This includes the area of existing public toilets. The site could be extended by a few metres towards the north if required.

### DESCRIPTION

The site is significantly below the level of the adjacent Shore Street. It is surrounded by a stone wall with an access point at the west. The site is currently used as a carpark (14 parking spaces). It also contains a small public toilet block. A retaining wall restricts the site to the south and south-west. There are a number of existing mature trees on the site. The level area of the site is approximately 720m<sup>2</sup>. The adjacent Estate House Office building and associated walls and boat house are B listed structures. The Estate House is relatively large: two stories and a roof in height. Due to this level difference and trees it does not have a strong visual impact when seen from Shore Street.

### LANDSCAPE CHARACTER TYPES / LAND DESIGNATIONS

- Harbour settlement SNH character type
- Wider policy woodland and estate settlements local character type
- Landscape Partnership Area

(refer to horner+maclennan Landscape Character Assessment)

### INFRASTRUCTURE/SERVICES

- Electricity: AppleJuice/Existing mains electricity (dependent on existing capacity).
- Water: Existing water services (dependent on existing capacity).
- Sewage: To be connected to the existing public Scottish Water sewerage system
- Access: the site is located centrally within Applecross. It is accessed by a small access road from Shore Street. A nearby path leads to the Applecross House and Walled Garden

### POTENTIAL DEVELOPMENT

Live/work units, affordable housing, employment premises, public toilets, carpark.

### RELATED PLACEMAKING PRIORITIES

- Identifying and making land available for employment / business premises.
- Supporting live/work units and local entrepreneurs.
- Developing a community boatshed / marina.
- Encouraging tourists to spend time in Applecross.
- Enhancing the existing community hall and other community facilities and infrastructure.
- Improving parking and public transport provision.
- Identifying and making land and buildings available for affordable housing for local residents of all ages and those wishing to make a long lasting contribution to the community. Sites should be of a size, capacity and location that is viable and close to facilities, including an energy supply.
- Locating new development close to energy generation schemes.
- Ensuring development proposals respect local heritage and marine interests
- Promoting sustainable development.



Site Photos

## 4. PLACE - Shore Street carpark (2P Q R) Development potential - Mixed use

### DEVELOPMENT POTENTIAL

**Use & Development Type:** Live/work units, affordable housing, employment premises, public toilets, carpark, campervan waste discharge.

Due to its central location the site seems to be suitable for new employment spaces (offices, retail) potentially mixed with some small housing units, a tourist related venture, an electric vehicle charging point, and a campervan waste discharge point. This can be achieved while retaining the car parking and public toilets use, however the mix of uses proposed may require the restriction of public toilet and campervan waste discharge during certain hours..

**Capacity:** Low - medium.

Extending the site slightly to the north will allow approximately 120m<sup>2</sup> footprint of a new, two storey building with roof, main building (up to 200m<sup>2</sup> office/retail space and no2 one bedroom dwellings) and further 200m<sup>2</sup> in single storey "extensions" (approximately 100m<sup>2</sup> new sanitary block, 100m<sup>2</sup> office/retail spaces) could be achieved. The back of the site offers direct access to the shore for amenity purposes and/or a new boatshed.

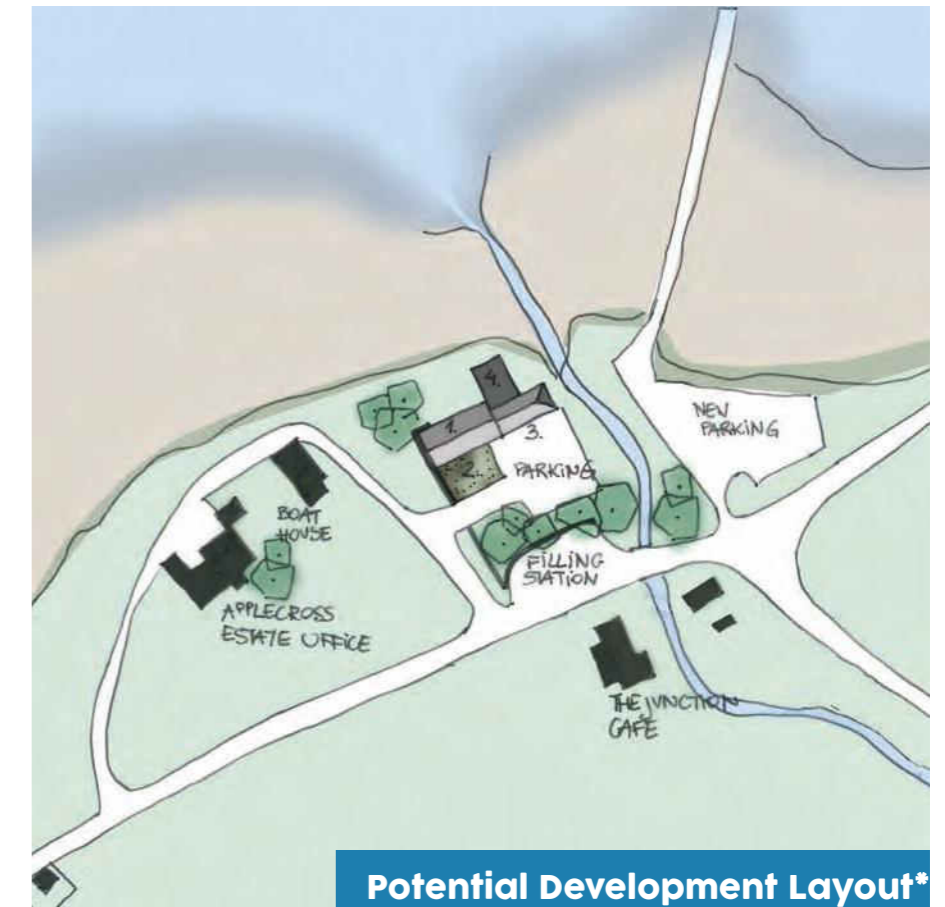
### DESIGN & FORM

The scale and massing of the adjacent Estate House Office could be used as inspiration for any new building design. The site offers a number of opportunities to minimise the impact of development that, if used well, could help to achieve substantial new floor area. These include level differences, incorporation of existing stone walls, use of trees/shrubs, sensitive massing referring to the Estate House Office i.e. main mass of the building with additional "extensions" approach.

All materials could refer to the traditional materials present in the area: white wet dash render; stone; timber; slate; and metal sheet. Modern interpretation of traditional architecture that meets current needs and uses modern materials to their full potential, e.g. glass, is strongly encouraged. The south facing orientation of the site offers an opportunity to successfully use passive solar gain, significantly improving the energy efficiency of the building. Native trees planted on the north and east of the site should be used as protection from the prevailing wind. Minimal glazing should be located on the exposed sides of the building.

All the above is achievable without changing the number of the existing parking spaces. Additional parking spaces could be located on the site to the east, behind the burn. The use of urban materials like concrete kerbs, paving slabs etc. should be avoided. Site boundaries should utilise planting to reduce the impact of new houses on the landscape.

Flood Risk: Proposals for housing or other overnight accommodation will need to be supported by a Flood Risk Assessment which demonstrates the proposals avoid flood risk.



Potential Development Layout\*

### Artist impression\*



1. Main mass, two storey plus roof - commercial and/or residential
2. Single storey, living roof - commercial
3. Single storey, sanitary block
4. Potential boat shed

\* = All images are indicative and for illustrative purposes only, they are one suggestion of what could happen on a given site.

## HYDRO FIELD (2V W X)

### LOCATION AND AREA

**Location:** The site is located around 400m from Shore Street. It is located in the north section of agricultural land stretching between the hydro access track and Smithy Farm buildings at Bealach na Ba. It is adjacent or in close proximity to a number of relevant sites like the Camp Site, Hydro, Craite Barn, Broch and Top Barns.

Area: considered site area approximately 0.22 ha.

### DESCRIPTION

The site is well located for housing purposes and is relatively flat, with a number of mature trees in proximity of the site adding to its attractiveness. Its orientation would allow for the formation of south facing terraced housing, fully benefiting from sunlight and associated wellbeing and energy efficiency gains. It is located within comfortable walking distance to services and amenities associated with Shore Street. The easterly section of the site is adjacent to Bealach na Ba road, which is a good connection point to any location in the peninsula. The front of the site is also adjacent to a street leading to the Steading and Applecross Campsite.

### LANDSCAPE CHARACTER TYPES / LAND DESIGNATIONS

- Wide farmed strath SNH character type
- Backcloth slopes local character type
- Landscape Partnership Area
- \* refer to horner+maclennan Applecross landscape character assessment

### INFRASTRUCTURE/SERVICES

- Electricity: AppleJuice/Existing mains electricity (dependent on existing capacity).
- Water: Existing water services within adjacent sites (dependent on existing capacity).
- Sewage: To be connected to the existing public Scottish Water sewerage system..

### INFRASTRUCTURE/SERVICES(CONT)

- Access: The site is located centrally within Applecross. It can be directly accessed from the hydro access track off the road leading to the Steading and campsite, and from Smithy Farm track connected to Bealach na Ba. Existing footpaths provide convenient pedestrian access to Shore Street and indirectly link with Milltown and Loch a'Mhulinn.

### POTENTIAL DEVELOPMENT

Mixed Use: Affordable housing, sheltered housing.

### RELATED PLACEMAKING PRINCIPLES

- Identifying and making land and buildings available for affordable housing for local residents of all ages and those wishing to make a long lasting contribution to the community. Sites should be of a size, capacity and location that is viable and close to facilities, including an energy supply.
- Locating new development close to energy generation schemes.
- Ensuring development proposals respect local heritage and marine interests
- Promoting sustainable development.



Site Photos





Site seen from Bealach na Ba

### DEVELOPMENT POTENTIAL

**Use & Development Type:** Affordable Housing, sheltered housing.

Due to its location, topography, orientation and accessibility to Shore St facilities and an adjacent allotment, the site is well located for a residential project.

**Capacity:** Low - Medium. Approximately eight unit terrace could be accommodated within the site. This could be split in two phases of 4 units each. This is based on assumption that every unit has approximately 70m<sup>2</sup> footprint. There is some flexibility regarding the number of units depending of the housing mix required.

### DESIGN & FORM

Due to the advantages associated with the site it would be advisable to maximise the capacity of any development. Considering the proximity of the Shore Street terraced housing it feels that mirroring this arrangement would be the most suitable. A terrace of 8, perhaps 10 smaller, 1.5 storey houses could be created. Due to the level drop at the road the plots would have to be accessed from the south. This would result in a terrace with two front elevations – public elevation seen from the street, and private one from the access side. As a result the development viewed from any point would be an attractive sight.

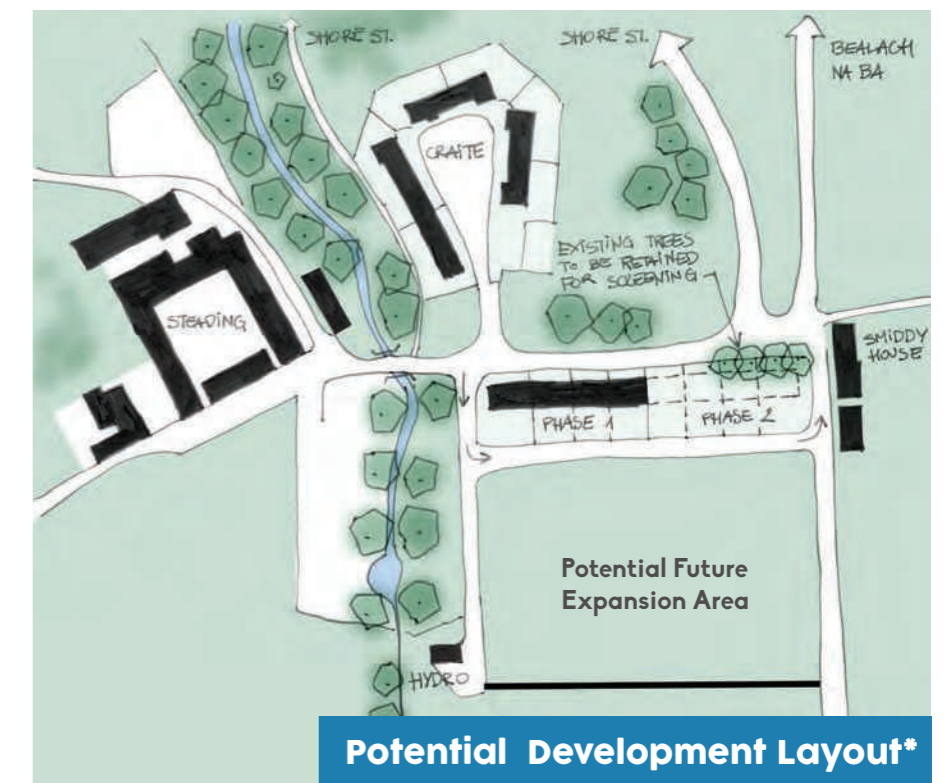
The form, scale, massing and colour scheme of the terrace could therefore also be inspired by the Shore Street terrace. The details, fenestration design and materials could be modern in character to allow full use of the potential of the site and available technologies. The windows from the north (public side) could be small and very traditional in appearance. The south facing, private elevation could have large modern glazing areas opening to the views. Similarly to Shore Street, a pitched roof with dormers or wallhead dormers would maximise the use of the attic and provide much needed additional residential area. Due to the repetition of form, this site has potential for offsite manufacturing technologies (modular housing or similar) - this will be subject to road access.

The existing trees could be retained to provide screening from Bealach na Ba. This would assist in achieving the desired levels of privacy and minimise the visual impact when seen from the pass. The site orientation creating a perfect opportunity to form south facing gardens with the views towards the fields and hills. Furthermore, the site's solar gain potential provides ideal conditions for Passive House or other zero carbon design approaches.

**Flood Risk:** The north most section of the site is slightly below the road level and as such some surface water issues can be expected, however this could be mitigated with suitable drainage. Proposals for housing or other overnight accommodation will need to be supported by a Flood Risk Assessment which demonstrates the proposals avoid flood risk.

**Historic Consideration:** According to local advice the area around Mains of Applecross & Crait barn was the site of the old settlement of Borrodale. The name is supposed to be Norse indicating a defended place - see Highland Historic Environment Record MHG32170. In addition, a quernstone has been found within the potential site area- see Highland Historic Environment Record MHG29882. Further archeological surveying may be required prior to development.

*\* = All images are indicative and for illustrative purposes only, they are one suggestion of what could happen on a given site.*



Potential Development Layout\*

## SMIDDY WOOD (2Z AA)

### LOCATION AND AREA

**Location:** the site is located at the west end of Bealach na Ba on the east of Smithy Farm.

**Area:** approximately 24 ha.

### DESCRIPTION

Currently the site is a (non native) conifer farm woodland. The site slopes towards the north and north-east. It is restricted by the Bealach na Ba to the north and the Smithy Farm buildings and a track to the west. The slopes across the site vary significantly. Following heavy rainfall, a number of burns and temporary burns appear on the site and portions of the woodland are boggy. The ground conditions are poor due to re-forestation, tree felling and a lack of sufficient drainage.

### LANDSCAPE CHARACTER TYPES / LAND DESIGNATIONS

- Wide farmed strath SNH character type
- Backcloth slopes local character type
- Landscape Partnership Area

(refer to horner+maclennan Landscape Character Assessment)

### INFRASTRUCTURE/SERVICES

- Electricity: AppleJuice/Existing mains electricity (dependent on existing capacity).
- Water: Existing water services (dependent on existing capacity & pumping may be required).
- Sewage: To be connected to the existing public Scottish Water sewerage system
- Access: There is an access point from Bealach na Ba at the northern most point of the site. Existing track and path connects Smithy Farm buildings and the north most point at Bealach na Ba

### POTENTIAL DEVELOPMENT

Mixed Use: Affordable housing, Live/work.

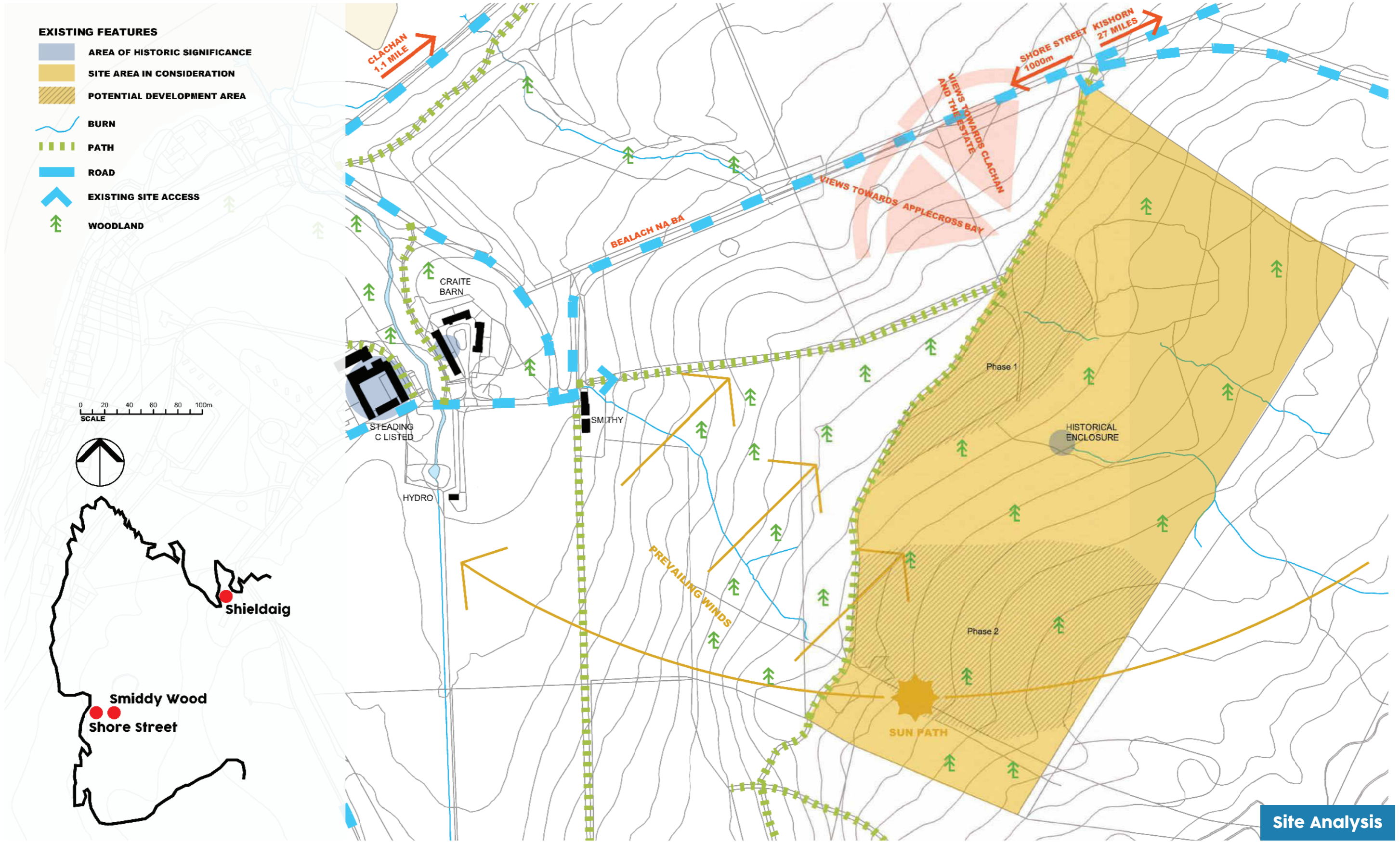
### RELATED PLACEMAKING PRIORITIES

- Identifying and making land and buildings available for affordable housing for local residents of all ages and those wishing to make a long lasting contribution to the community. Sites should be of a size, capacity and location that is viable and close to facilities, including an energy supply.
- Locating new development close to energy generation schemes
- Ensuring development proposals respect local heritage and marine interests
- Promoting sustainable development



Site Photos

# 4. PLACE - Smiddy Wood (2Z AA) Site Analysis



Site Analysis

### DEVELOPMENT POTENTIAL

**Use & Development Type:** Mixed use - Affordable housing, live/work.

The more level sections of the site are located along the existing access track and could be utilised for affordable or self-build housing. Following tree felling, the site will benefit from excellent views towards Clachan. A north or north-west facing slope is normally not recommended for housing purposes, therefore careful thought should be given to the location and orientation of new buildings to maximise their direct sunlight. The site is located on the edge of backcloth slopes local character type. Housing development in this location should follow a pattern of a Clustered crofting settlement local character type, as described below:

*This landscape character type comprises a cluster of houses that forms a focus within the surrounding landscape. The buildings seem linked by their proximity that creates a sense of cohesion; however they vary in spacing, elevation and orientation and their relationship to the underlying landscape, so that the settlements possess a complex image of the detailed level.*

**Capacity:** Medium - High (5-20+ units). The site has capacity to accommodate, depending on layout, up to six new buildings in a first phase, then potentially more buildings in the south western section of the site in future phasing. Formation of a new access road would be required in phase 2.

### DESIGN & FORM

House design could follow the massing and roof/wall proportions typical in adjacent townships. The main mass of the typical building in the area is based on a relatively shallow (approximately 6.5m) footprint (approximately 75m<sup>2</sup>), is single or one and a half stories in height, with vertical windows and pitched roofs, often with dormers. The need for additional area can be satisfied by adding "extension like" elements to the main mass of the building. These extensions should not disturb the main roof/walls proportions. All materials could refer to the traditional materials present in the area: white wet dash render, stone, timber, slate and metal sheet. Modern interpretation of traditional architecture that meets current needs and uses modern materials to their full potential, e.g. glass, is strongly encouraged.

In order to address the lack of housing issue the use of the "Cottage flat" type should be considered. These consist of two single floor dwellings at ground level, and similar dwellings on the floor above, all within one building, the scale of a single house. Each flat has a door directly to the outside of the building. An Applecross specific variation of this type, respecting local restrictions, may be developed.

The new detached houses should be located within the individual enclosures (area approximately 800-1000m<sup>2</sup>). Their location should be in close proximity to the new access road (in place of the existing path and track) and in areas of minimal slope to remove the need for engineered platforms. The longer edge of the building should be orientated to maximise direct sunlight and contain large areas of glazing, to allow passive solar gain and good quality daylight. South and south-west areas should be protected from the prevailing winds with native trees distant enough to not overshadow the building. There should be minimal glazing on the north elevation. This is also the best location for adding the unheated extensions and porches, which will act as thermal buffers.

Where a site boundary is required the use of dry stone walls, hedges and timber fences is encouraged. Use of urban materials like concrete kerbs, paving slabs etc. should be avoided. Site boundaries should utilise planting to reduce the impact of the new houses on the landscape.

**Flood Risk:** For phase 1, flood risk from the small watercourse will need to be investigated. A buffer of at least 6m should be observed between the top of the bank of the watercourse and any development. Any development must meet the flood risk avoidance principles outlined in Scottish Planning Policy and The Highland Council's flooding Policy contained within the Local Development Plan.

**Heritage Consideration:** Any development to consider the potential of unrecorded archaeological features on the site.

*refer to horner+maclennan Applecross landscape character assessment*



Site Photos

### 4.3 SOUTH APPLECROSS (ZONE 3)

#### DESCRIPTION

The south of Applecross Peninsula is typified by coastalcrofting settlements established on sloping terraces and rocky moorland. The area is more dispersed in comparison to Applecross Bay and Shore St, and more developed than the north. It has more housing than the other two zones, and hosts key community facilities such as the Community Hall, Applecross Primary, doctors surgery, three churches, and the two piers of Ardh Dhubh and Toscaig.

#### ISSUES

The following issues have been noted:

- Lack of supply of affordable homes and housing land.
- Lack of supply of employment land.
- Concern that existing community assets such as the Community Hall are underutilised, and that additional social spaces are needed.
- Concerns with lack of multi-use paths between key areas of interest, e.g. School and Hall.
- The need to improve active travel facilities.
- Concern that healthcare and emergency service provision is lacking.
- Interest in making better use of Toscaig Pier as a strategic site.

#### GROWTH PATTERN AND IDENTIFIED LAND USES

The preferred approach to development across this area of Applecross is a "dispersed and less intensive", albeit with consideration that it is a more developed area with existing community facilities. The following potential locations for future development have been identified:

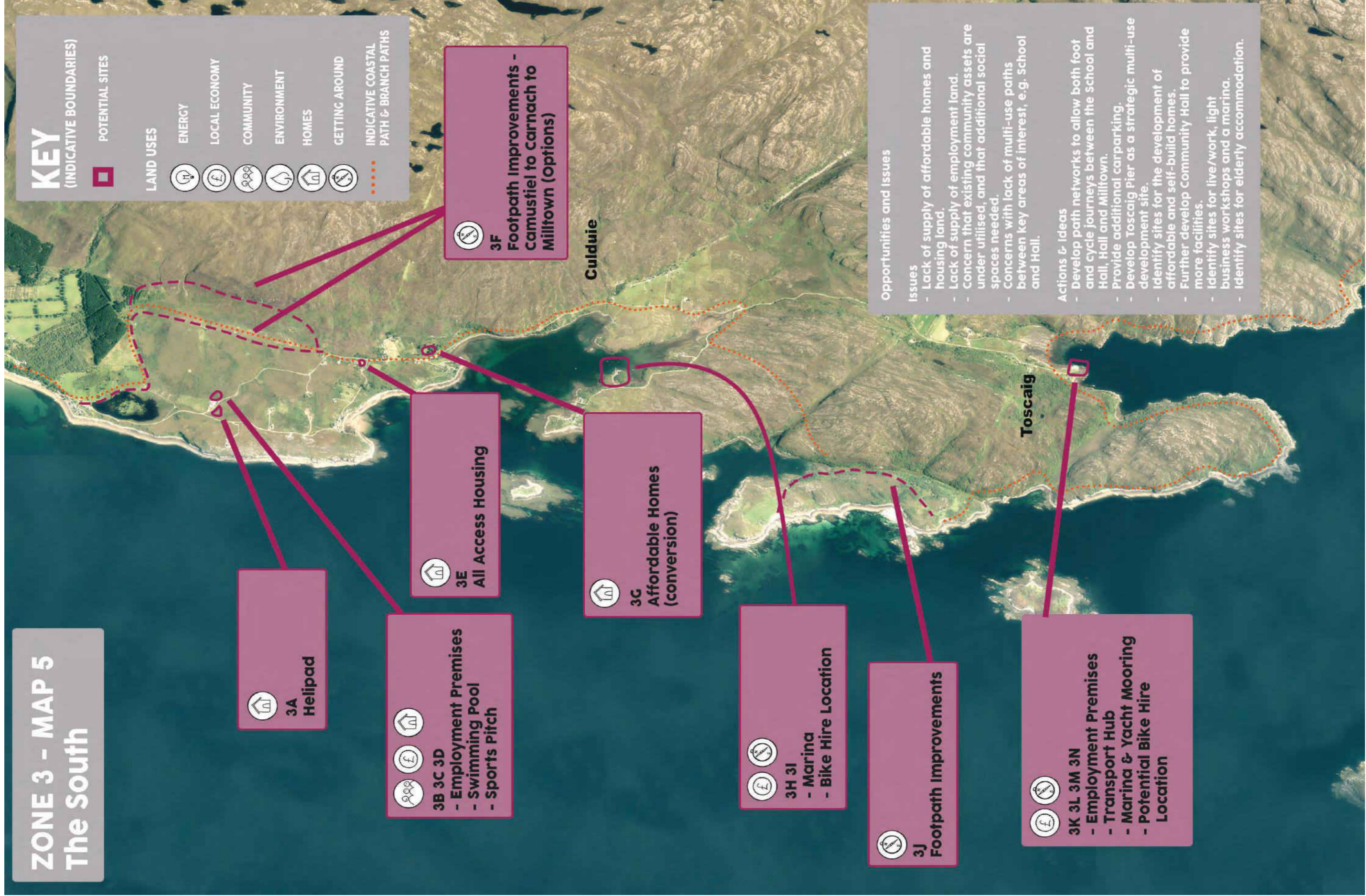
Theme	Description	Sites
Getting Around	Develop new path networks to allow both foot and cycle journeys between the School and Hall, Hall and Milltown	3F
	Improve path north west of Toscaig	3J
	Identify potential hub sites for a bike hire scheme	3I
	A peninsula wide path network	N/A
Homes	Identify sites for affordable and self-build homes	3G, 3J
	Identify sites for all access accommodation	3E
Local Economy	Develop Toscaig Pier as a strategic multi-use development site for transport and local retail	3K, 3L, 3M, 3N
	Identify sites for live/work, light business workshops and a marina	3E, 3H
Community	Develop Community Hall to provide more facilities (e.g. multi-use sports pitch, swimming pool, building extension to provide dedicated functional rooms for music, etc)	3C, 3D
	Identify a site for a helipad	3A

#### KEY SITES DEVELOPED IN MORE DETAIL:

- Toscaig Pier (3K L M N)



Ard Dhubh



## TOSCAIG PIER (3K L M N)

### LOCATION AND AREA

**Location:** At the south end of the west coast road. The south and east is restricted by Loch Toscaig and its rocky shores. Adjacent, on the west is the Tigh a'Bhroc house site. The north is restricted by a road.

**Area:** considered site area approximately 0.3 ha.

### DESCRIPTION

The site is a level tarred area at the end of the west coast road, often referred to as Toscaig Pier. Apart from its adjacency to the water to the north and east, it is surrounded by grassy land with some rocky outcrops. The site benefits from great open views of the shores of Loch Toscaig and the Isle of Skye. This area is fully exposed to prevailing winds from the sea.

### LANDSCAPE CHARACTER TYPES / LAND DESIGNATIONS

- Harbour settlement SNH character area
- Area of Great Landscape value
- Clustered Crofting Settlement local character type
- Landscape Partnership Area

(refer to Horner+MacLennan Landscape Character Assessment)

### INFRASTRUCTURE/SERVICES

- Electricity: Existing mains electricity (dependent on existing capacity). Potential for use of a small or medium wind turbine will be investigated. In addition, since any building would be located in direct proximity to Loch Toscaig, use of water source heat pumps should be explored.
- Water: Existing water services (dependent on existing capacity & pumping may be required).
- Sewage: Site investigation required.
- Access: Site is accessible from the road leading to and from Clachan, and further to Shore Street.

### POTENTIAL DEVELOPMENT

Mixed Use: Employment premises, transport hub, marina & yacht mooring.

### RELATED PLACEMAKING PRIORITIES

- Identifying and making land available for employment / business premises.
- Possibly expanding Toscaig Pier and related facilities.
- Developing a community boatshed / marina.
- Providing new and expanded active travel/electric car facilities within the village and to ferry and rail connections.
- Improving parking and public transport provision.
- Ensuring development proposals respect local heritage and marine interests
- Promoting sustainable development.

### DEVELOPMENT POTENTIAL

**Use & Development Type:** Employment premises, transport hub, marina & yacht mooring.

Development to be related to the use of the pier as a transport hub. Any proposal would need to limit impact on neighbouring residents and infrastructure, e.g. road/vehicle access from Shore St. The site can accommodate a building offering rentable, flexible spaces for local businesses or workshops, and a passenger ferry pier or minibus hub.

**Capacity:** Low-Medium. 350-600m<sup>2</sup> footprint of the building and up to 35 parking spaces.

### DESIGN & FORM

It is proposed that any new building is linear, stretching from north to south of the site. The northern gable end, of the same proportion as the adjacent house, facing the road, would be the only visible element of the building from the inhabited part of peninsula. By locating the building this way a substantial area can be achieved without an adverse impact on the landscape. The linear nature of the form could be broken in the middle to add some interest to the elevation. The building itself should be simple in form and repetitive in fenestration to allow flexible subdivision adjustments as driven by the socioeconomic needs at the time.

### DESIGN & FORM (CONT)

Depending on the needs and aspirations of the community, the building could be a simple budget shed or a cutting edge piece of modern architecture. Use of metal sheet as a utilitarian material, common in Applecross, could be interpreted as anything from a simple corrugated metal sheet to a modern jet black zinc cladding. Part of the shed could cantilever over the shore allowing a much bigger footprint and creating a unique feature. The south facing gable end could be fully glazed providing a spectacular space for the business inhabiting the space. Both the south facing glazing and black cladding would improve the energy efficiency of the building through passive solar gain.

As the site is fully exposed to the prevailing winds, additional levels of insulation should be incorporated to minimise running costs and fuel supply related issues.

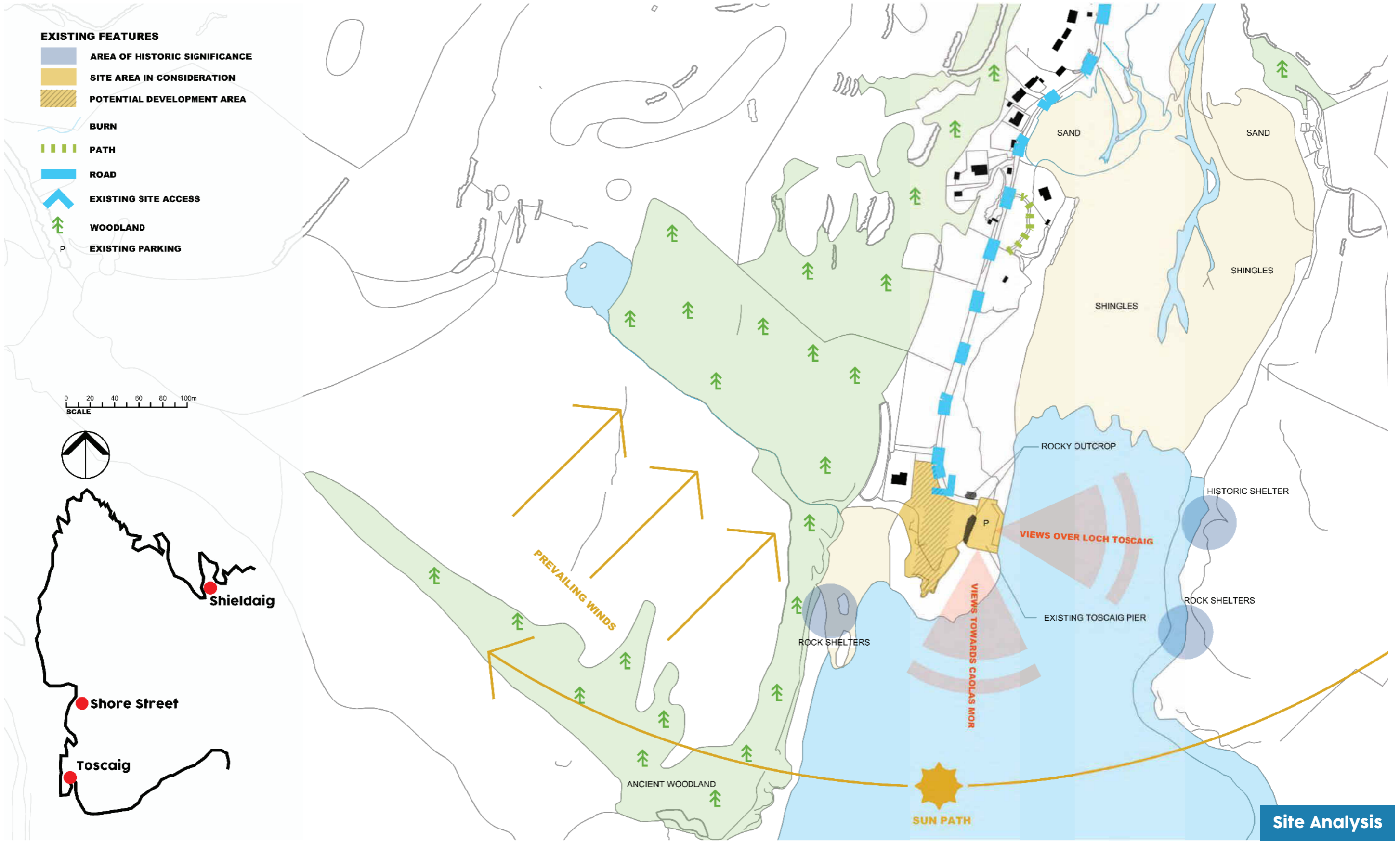
Careful assessment of car parking requirements should take place. It would be beneficial to use the available space for amenity purposes e.g. picnicking area, benches, fishing canopies, as opposed to car parking. It is essential that use of urban materials like concrete kerbs, paving slabs, tarmac etc. are avoided in order to minimise visual impact. Native trees should be used to provide some protection from the wind and create visual interest.

**Flood Risk:** Any proposed use of the site will need to mitigate for coastal flood risk. Any development must meet the flood risk avoidance principles outlined in Scottish Planning Policy and The Highland Council's flooding Policy contained within the Local Development Plan.



Site Photo

# 4. PLACE - Toscaig (3K L M N) Site Analysis



Site Analysis



## SUMMARY / NEXT STEPS

This Community Land Use Plan has been developed through a process of research, community discussion, idea development, land use site identification, and finally, proposal testing. This process has enabled the identification of an overarching strategy to identify potential growth areas across the Applecross Peninsula. This strategy focuses on growth in the Shore St and Estate areas, with more minor development to the north and south. Key land uses, such as affordable housing and business/economic premises are the preferred land uses, along with improved path networks, tourist infrastructure and community amenity (e.g. community woodlands and health & fitness facilities).

The land uses promoted in this plan represent the aspirations of the Applecross community. The next step in this process will be more detailed site viability testing. The development of any of the sites identified in this plan will succeed based on a collective approach. As noted in the Foreword, this plan has been developed by the ACC and Applecross Trust and is a community plan, to be shared and delivered by all members of the Applecross Community. On this basis, with agreement from ACC and the Applecross Trust, the following prioritisation of sites has been established:

Site No.	Site	Lead	Priority
1B	Arrina	Applecross Trust	High
2A B	Hartfield Forest	None identified	Low
2C D E	Hartfield House	Applecross Trust	High
2F	Forest SW of Hartfield	None identified	Low
2H I J	Clachan	ACC	High
2L M	Sawmill	Applecross Trust	High
2P Q R	Shore St Carpark	ACC	High
2T U	Steading	Applecross Trust	Medium
2V W X	Hydro Field	ACC	High
2Z AA	Smiddy Wood	ACC	High
3K L M N	Toscaig Pier	None identified	Low

If you would like to find out more about any of the proposals contained within this plan then get in touch with the Applecross Community Company ([www.applecrosscommunitycompany.org](http://www.applecrosscommunitycompany.org)), Community Council ([www.en-gb.facebook.com/applecrosscommunitycouncil/](http://www.en-gb.facebook.com/applecrosscommunitycouncil/)), or The Applecross Trust ([www.applecross.org.uk](http://www.applecross.org.uk)).



Applecross Bay

Appendix 1: Plan It Applecross – Workshop Ideas and Proposals (Spatial and Non-Spatial)

Theme	Idea	Principles / Considerations
Homes	Identify sites for new crofts (agriculture and forestry)	<ul style="list-style-type: none"> <li>- Woodland Crofts: <ul style="list-style-type: none"> <li>o Preference for sole-ownership.</li> <li>o Potential to develop from existing forest as well as cleared sites.</li> <li>o Clustered crofts could benefit from communal wood storage facility.</li> <li>o Through selective planting wood resource could have mixed uses (e.g. fuel, furniture).</li> </ul> </li> <li>- Traditional Crofts</li> <li>- Ensure the sustainability of existing crofts, and avoid de-crofting.</li> </ul>
Homes	Identify sites for individual self-build homes	<ul style="list-style-type: none"> <li>- Ensure affordability.</li> <li>- Consider on and off-grid.</li> </ul>
Homes	Identify sites for low-cost affordable homes (rental and owner occupied)	<ul style="list-style-type: none"> <li>- Location: <ul style="list-style-type: none"> <li>o Spread of small clusters of housing across the peninsula, however potentially focused in areas where existing amenity and infrastructure exist, i.e. follow road and powerlines, need to be close to main settlements.</li> <li>o Bring life back to some of the previous settlements and communities.</li> <li>o Identify sites for multiple dwellings within townships.</li> <li>o Balanced approach of using crofting land and non-crofting land.</li> </ul> </li> <li>- Type: <ul style="list-style-type: none"> <li>o Need for a range of different unit sizes (1, 2, 3 &amp; 4 bedroom homes). Observed lack of 1 bedroom units.</li> <li>o Need to provide temporary accommodation, i.e. small "cabin" units for seasonal workers and single occupiers.</li> <li>o Good housing design and landscaping is critical.</li> <li>o Accessible for all ages, including elderly.</li> </ul> </li> <li>- Delivery: <ul style="list-style-type: none"> <li>o Opportunity for the Trust and crofting townships to come together and play leading roles, with council, community company and others to address the problems.</li> <li>o Discuss with crofters what barriers need to be overcome, e.g. legal, and provide support to facilitate this.</li> <li>o Potential for the Trust or Community Company to buy up existing homes that come on the market and use this capital towards new-builds.</li> <li>o Need to ensure a mix of short/medium/long term sites.</li> </ul> </li> </ul>
Homes	Identify sites for live/work units	<ul style="list-style-type: none"> <li>- Ensure appropriate telecommunications infrastructure (e.g. broadband).</li> <li>- Could be single block (e.g. 6 units), but also demand for single units.</li> <li>- Need to take account of noise/vibration issues adjacent to housing.</li> <li>- Consider larger vehicle access.</li> <li>- Adaptability of a unit is important, owners/tenants need to have flexibility.</li> <li>- Businesses will need to be proactive in securing consent.</li> </ul>
Homes	Identify sites for a care home facility for elderly	<ul style="list-style-type: none"> <li>- Consider aged facilities are provided in any new housing clusters.</li> <li>- Consider stand-alone sites.</li> </ul>
Homes	Identify existing derelict sites and buildings to re-use as homes	<ul style="list-style-type: none"> <li>- Ensure the identification of derelict or existing buildings as potential housing sites is incorporated within the Housing Strategy.</li> </ul>
Homes	Identify sites for short-term accommodation for seasonal/temporary workers	<ul style="list-style-type: none"> <li>- Develop cabin "pods" for seasonal staff.</li> <li>- Affordable and well-designed.</li> <li>- Flexible use for off season.</li> </ul>
Homes	Prepare a collaborative Housing Strategy for Applecross. Within this, look at how needs are assessed, and how land can be bought/rented for homes/businesses	<ul style="list-style-type: none"> <li>- Define "affordable" in an Applecross context: Community led affordable housing that remains affordable.</li> <li>- More equitable and clear Trust Housing Policy</li> <li>- Existing housing could be better utilised.</li> <li>- Identify vacant houses</li> <li>- Address any existing unregulated renting concerns that may restrict tenants' rights.</li> </ul>

Theme	Idea	Principles / Considerations
Homes	Identify models for innovative affordable housing delivery	<ul style="list-style-type: none"> <li>- Potential to transfer croft ownership to Community Company or other community bodies.</li> <li>- Community ownership of housing should be a leading principle.</li> <li>- Council houses – investigate ownership transfer.</li> <li>- Redistribute tenants in social housing. Make it easier for people to move between homes (Council) so that single people can move from larger homes.</li> <li>- Make sales conditional to protect price and who it is sold to, e.g. Rural Housing Burdens (Knoydart), local occupancy clauses.</li> <li>- Consider housing co-operative model requiring sale back to co-operative.</li> <li>- Rent-to-buy scheme would help families settle for longer.</li> <li>- Explore different ways in which to ensure affordability of self builds, such as: an option of Estate not necessarily selling individuals the land but looking at a lifetime leasehold option; and gifted plot option.</li> </ul>
Local Economy	Establish community owned woodland(s)	<ul style="list-style-type: none"> <li>- "Community Woodland" defined as owned/long-term lease by community, managed by the community for recreational/biodiversity/educational purposes; any revenue from the woodland to go back into the community.</li> <li>- Harness existing woodland assets, use existing woodland where possible.</li> <li>- Promote the benefits of woodland for the biodiversity of native species, health and wellbeing, tree nursery, recreational use, as a source of fuel/energy, e.g. timber/woodfuel or wellbeing workshops.</li> <li>- Trust willing. Funding is dependent on ownership - simplest (preferred) option for the trust is to sell it to the community</li> <li>- Some management already happening informally – support for local crafts.</li> <li>- Expansion could also include mountain biking.</li> <li>- Size of woodland is dependent on resources to buy and manage.</li> </ul>
Local Economy	Develop a multi-functional tourist hub/visitor/heritage centre/gallery space	<ul style="list-style-type: none"> <li>- Proposed use should be complementary to the Community Hall. Hall is a key community hub and preference is that it should remain so, albeit refurbished/made better use of.</li> <li>- Must ensure local benefit.</li> <li>- Potential uses: heritage centre/crofting museum; workshops/community office space; visitor centre/retail (for local businesses); overflow parking, gallery/studio space; arts/cultural trail <ul style="list-style-type: none"> <li>o Crofting museum could include information about past ways of life/ demonstration croft.</li> <li>o Gallery/studio space could include visiting exhibitions, music events, artist in residence.</li> </ul> </li> <li>- Potential for on-site power generation.</li> <li>- Link to "Slow Tourism", should contribute to aim to retain NC500 visitors.</li> <li>- Options for locations: <ul style="list-style-type: none"> <li>o Heritage Centre, Clanach</li> <li>o Steading</li> <li>o Carpark site at Shore St</li> </ul> </li> <li>- Should be close to the community.</li> <li>- Similar projects in comparable communities have attracted funding and been delivered.</li> </ul>
Local Economy	Develop Toscaig Pier as a multi-use site	<ul style="list-style-type: none"> <li>- Potential uses: Retail (ice cream, mussel shack, fishing tackle, craft/small produce hub with retail, food co-op); Fishing / angling spot; Sightseeing trips; Transport hub / ferry terminal - to Kyle of Lochalsh. Link up with local perimeter bus service; Bike hire location; Incubator business units e.g. craft/trade workshops; Marina / moorings for visiting yachts; Covered area (waiting room, toilet); Bike storage; Café or mobile coffee pod; Car park / park &amp; ride; Affordable homes.</li> <li>- Exemplars: Isle of Eriskay.</li> </ul>
Local Economy	Develop community boatshed / marina	<ul style="list-style-type: none"> <li>- Potential locations to be assessed on their suitability for yachting (e.g. deep water), space on shore line for boat shed, or existing slipway.</li> </ul>
Local Economy	Identify sites for new business premises	<ul style="list-style-type: none"> <li>- Potential Types: <ul style="list-style-type: none"> <li>o Flexible office space.</li> <li>o Garage / car workshop (for locals and tourists).</li> <li>o Laundry Facility (for locals and tourists). Meet local commercial/hospitality demand.</li> <li>o Waste Service (for campervans – septic waste). Need to consider the infrastructure required to do this. Could be multiple units @ 1/4 acre for each unit.</li> <li>o Workshops – local trades and crafted goods.</li> </ul> </li> <li>- Delivery considerations: <ul style="list-style-type: none"> <li>o Should be infrastructure led, requirements such as 3 phase and road access will be critical.</li> <li>o Concern about identifying sites on crofting land, if any proposal results in a net loss of land.</li> <li>o Small business units could be scattered in small groups.</li> </ul> </li> </ul>

Theme	Idea	Principles / Considerations
Local Economy	Identify sites for renewable energy production.	<ul style="list-style-type: none"> <li>- To include a community wind turbine, more micro-hydro power generation, wood-chip burner.</li> </ul>
Local Economy	Develop a Tourism Strategy	<ul style="list-style-type: none"> <li>- Build strategy around concept of "Slow Tourism", a dispersed approach which encourages tourists to stay longer and engage in activities broader than a "driving experience". Marketing strength is the secret of Applecross / a' chomraich – build something which is special to Applecross.</li> <li>- Need to harness economic benefits of being on Route 500 and keep revenue in the community.</li> <li>- Potentially establish an "Applecross Tourism Authority" to manage tourism.</li> <li>- Increase sharing of experience around the NC500 communities, e.g. on accommodation bookings.</li> <li>- Potential Key Objectives: <ul style="list-style-type: none"> <li>o A central letting agency to run holiday lettings.</li> <li>o Develop a litter and wild-camping strategy, and manage tourist facility sites as infrastructure, e.g. covered picnic area, rubbish bins, coin-operated laundry, toilets, parking.</li> <li>o Investigate the potential for a "ranger" service to help with visitor-related work and environmental monitoring.</li> <li>o Better promote indigenous tourism: sell the heritage, music, storytelling – to tie in with gaelic tourism strategy.</li> <li>o Promote the potential for more adventure based activities.</li> <li>o Improve promotion, marketing and signage: leaflets; potential for a visitor centre; provide a noticeboard/information board at end of Bealach; use the sanctuary / a' chomraich" to sell Applecross; create a peninsula wide comprehensive signage strategy (e.g. hazel wood; limestone caves, sand dune, archaeological features); create an Applecross visitor's mobile app; Provide interpretive boards for visitors.</li> </ul> </li> </ul>
Local Economy	Address infrastructure deficiencies.	<ul style="list-style-type: none"> <li>- Electricity (3 Phase) <ul style="list-style-type: none"> <li>o Crucial to business development. Future growth (e.g. visitor hub) is dependent on 3-4 phase power.</li> <li>o A need to investigate the feasibility of Apple Juice resolving deficiencies.</li> <li>o Focus could be on extending existing infrastructure at Cuaig.</li> </ul> </li> <li>- Gas <ul style="list-style-type: none"> <li>o No mains gas, LPG only back up.</li> </ul> </li> <li>- Broadband <ul style="list-style-type: none"> <li>o Encourage political support to expand existing coverage - Community Council could take this forward on behalf of the community, as could Applecross Trust gain access to SSE fibre for broadband.</li> <li>o Potential to learn from visitors, seek wider solutions.</li> <li>o To address maintenance deficiencies with AppleNet, Consider how to train local people to help maintain local broadband provision.</li> </ul> </li> <li>- Roads <ul style="list-style-type: none"> <li>o Consider as part of specific road strategy, see Getting Around.</li> </ul> </li> <li>- Mobile Network <ul style="list-style-type: none"> <li>o Investigate an extension to 4G mobile phone network coverage for peninsula.</li> </ul> </li> <li>- Postal System <ul style="list-style-type: none"> <li>o Identify ways to secure a long term postal service in Applecross. Link to local shop/common retail.</li> </ul> </li> </ul>
Local Economy	Consider how to create a support network for local businesses/entrepreneurs	<ul style="list-style-type: none"> <li>- Meet regularly to discuss joint needs and aspirations.</li> <li>- Promote partnership project working</li> <li>- Promote local apprenticeships.</li> <li>- Create a business hub location.</li> <li>- Forum could be better used to promote business networking.</li> </ul>
Local Economy	Consider how to offer and promote local produce and agriculture	<ul style="list-style-type: none"> <li>- Need to increase local produce available and niche opportunities.</li> <li>- Link to a local co-op scheme.</li> <li>- Opportunity to provide small businesses with local produce.</li> <li>- Set up a marketing group to promote local produce and coordination across crofts.</li> <li>- Encourage seasonal produce.</li> </ul>
Local Economy	Ensure sustainability of community owned infrastructure	<ul style="list-style-type: none"> <li>- Consider how to manage the community petrol pump and toilets more efficiently and to ensure profitability.</li> </ul>

Theme	Idea	Principles / Considerations
Getting Around	Improve road infrastructure and capacity to address tourist and general use	<ul style="list-style-type: none"> <li>- Consider how to create a traffic-flow plan / traffic strategy to manage increased tourist traffic.</li> <li>- Consider different road users, including cyclists.</li> <li>- Identify sites requiring road improvements (e.g. address structural deficiencies and capacity/volume issues).</li> <li>- Promote more considerate driving behaviour               <ul style="list-style-type: none"> <li>o Improve existing content on NC500 leaflets/promotional material.</li> <li>o Provide locally produced leaflet on how to drive in the area.</li> <li>o Material to be provided in rental cars.</li> <li>o Need to engage the media/BBC to show impact on communities.</li> <li>o Need to engage the whole community, Highland Council, Visit Scotland, local MSPs.</li> </ul> </li> <li>- Improve road signage across peninsula:               <ul style="list-style-type: none"> <li>o Must meet local and tourist needs, i.e. promote local attractions and businesses.</li> <li>o A definite need to own the signage strategy locally - and ensure this is tied into a broader access strategy.</li> <li>o Existing signage doesn't work. Visitors don't know to allow overtaking at passing places. This includes vehicles and cyclists – they should be encouraged to allow overtaking.</li> <li>o Advisory signage to include: Allow overtaking; Cyclists allow overtaking; No convoys; Livestock grazing; No Parking; If you can't reverse, turn around; signage for traffic coming down the hill, Wildlife Crossing.</li> <li>o Install a more comprehensive sign board at Bealach na Ba to inform visitors of considerate practices.</li> </ul> </li> <li>- Consider funding mechanism for maintenance and improvement, e.g. road tolling.</li> <li>- Consider traffic and road management measures:               <ul style="list-style-type: none"> <li>o Review speed limits, e.g. Shore Street/Milton Link, needs to be 10mph/20mph max.</li> <li>o Speed cameras.</li> <li>o Review existing road markings e.g. white lines, introduce double yellow lines.</li> <li>o Maybe not a speed limit sign as difficult to enforce but flashing sign to indicate when exceeding limit.</li> </ul> </li> </ul>
Getting Around	Develop a peninsula wide walkway as a regional tourism venture	<ul style="list-style-type: none"> <li>- Path could potentially be a key "Slow Tourism" initiative.</li> <li>- Could follow old postal route/historic bridle path in place. Other parts in place. Sheildaig to Kishorn (circuit). Could follow coast and offer branch path from Estate to Loch Shieldaig.</li> <li>- Could have multiple stopping points (nodes).</li> <li>- Linking paths required:               <ul style="list-style-type: none"> <li>o Applecross to Kenmore path in place and signed</li> <li>o Uags/Arigh-drishaig path needs signage.</li> <li>o New path from Shore St to Milton.</li> </ul> </li> <li>- Users could be tourists and locals, and could provide mixed use as cycle and footpath. However, would need to ensure maintenance addressed if different types of users accommodated (e.g. cycles)</li> <li>- Long term project delivered in stages.</li> <li>- Would open up entrepreneurial opportunities for B&amp;Bs and accommodation around path/peninsula.</li> <li>- Potential funding through Sustrans</li> <li>- Possible Name: Postman's Path, Coastal Path. Exemplars: West Highland Way; Skye cycle and walking route.</li> </ul>
Getting Around	Identify sites for carparks and direct visitors there at peak times	<ul style="list-style-type: none"> <li>- Develop infrastructure and visitor facilities around existing car parks.</li> <li>- Car parking should mirror the dispersed nature of the settlement e.g. to Bay area rather than at Applecross Inn.</li> <li>- Improve promotion of parking space locations. Central signage to show where spaces are and identification on Google maps and other Sat Nav platforms.</li> <li>- Expansion of carparks around peninsula will help develop communities to encourage small businesses.</li> <li>- Consider future potential need for dedicated campervan parking. Provision of any parking to be monitored to ensure that impact to neighbouring communities, and wider tourist numbers in Applecross, is limited. Any needs appraisal to include longterm cost and maintenance.</li> </ul>

Theme	Idea	Principles / Considerations
Getting Around	Identify and create a network of paths linking key facilities and items of interest.	<ul style="list-style-type: none"> <li>- Consider the possibility for cycle paths and routes/shared areas.</li> <li>- Existing paths need to be better maintained and signposted.</li> <li>- Connect path network to wider local and regional paths, e.g. Sand Path and Kenmore Path.</li> <li>- Consider different users, such as mountain bikers. Address any potential conflict between users.</li> <li>- Could establish wash down areas near specific off road cycling trails.</li> <li>- Specific locations: <ul style="list-style-type: none"> <li>o Path between Milltown and Shore Street- road to be marked to show coloured footpath on right hand side (seaward side), and path to begin at the end of Shore St (end of seawall). Additional wayfinding and safety measures to be provided through lighting and signage.</li> <li>o Path between School and Hall.</li> <li>o Path between Hall and Milltown.</li> <li>o Path between Camustiel and Milltown, via Torgarve (Zuzu's path).</li> <li>o Path between Kenmore and Arrina – improve to multipurpose standard.</li> <li>o Fearnebag Coastal Path to be improved. To Fearnamore etc.</li> <li>o Path from Shieldaig to Toscaig (eventually).</li> <li>o Establish path from Inn along seafront to Milltown.</li> </ul> </li> </ul>
Getting Around	Identify a site for a bike maintenance and repair service hub.	<ul style="list-style-type: none"> <li>- Link up with the bike hire locations</li> <li>- Link to a business site</li> </ul>
Getting Around	Develop a heli-pad site.	<ul style="list-style-type: none"> <li>- Location: next to the Community Hall, or possible alternative at Clachan.</li> <li>- Potential uses include: emergency services, logistics and transport, private transport, tourism.</li> </ul>
Getting Around	Develop a local public transport service.	<ul style="list-style-type: none"> <li>- Preference to promote the use of electric vehicles and to make use of existing hydro scheme surplus energy.</li> <li>- Potential users: logistics/deliveries for locals, tourists, local passengers, school pupils; walking and cycling tourists (buses to have cycle storage).</li> <li>- To be considered alongside a proposal to upgrade existing transport services being delivered by the Community Hall Committee.</li> <li>- Route identified as perimeter of peninsula, and over Bealach na Ba to Kishorn, with hubs / Park &amp; Ride facilities possible at Shieldaig, Shore St area, Toscaig, Kishorn. Need to consider service to Hartfield as part of any proposed route.</li> <li>- Any proposed hub to link in with Park and Ride / parking, for vehicles and cycles.</li> <li>- Link to existing bus services outwith the peninsula (i.e. train departures and arrivals times at Strathcarron, bus services at Kyle of Lochalsh). Possibly look at service from Shore St to Strathcarron or Kinloch.</li> </ul>
Getting Around	Develop more effective and efficient public transport beyond the Peninsula.	<ul style="list-style-type: none"> <li>- Need to consider how to increase the frequency of the bus from Applecross to Inverness, and increase the time between bus drop off in Inverness and return journey pick up to Strathcarron - to allow residents more time in Inverness.</li> </ul>
Getting Around	Further develop the community car-share scheme	<ul style="list-style-type: none"> <li>- Existing car scheme effective in taking people around Applecross and providing transport to hospital. Existing demand from school children (10 pupils in the high school).</li> <li>- Promotion needed to raise awareness and acceptance.</li> </ul>
Getting Around	Develop a bike rental scheme	<ul style="list-style-type: none"> <li>- Consider promoting the use of electric bikes as the preferred cycle type given potential for broad user base.</li> <li>- Investigate the success and challenges associated with other cycle schemes, e.g. London - Boris bikes, Torridon Hotel.</li> <li>- Link to Estate and Trust developing bike trails, and broader "Slow Tourism" strategy.</li> <li>- Look at different types of hire, on road and off road, and link to proposed peninsula circuit path / off road trails.</li> <li>- Success would be contingent on location of bike location hire facilities, i.e. look at key attractions/areas of activity such as Shore St, etc.</li> <li>- Potential to adopt an automated system.</li> </ul>
Getting Around	Develop Ferry Service from Toscaig Pier	<ul style="list-style-type: none"> <li>- Potential users: passengers to and from ferry, Plockton school pupils, passengers from bus, day trips to Kyle.</li> <li>- Develop as hub and link to other key transport facilities: ferry, bike hire, bus terminal.</li> <li>- Potential Destinations include Kyle of Lochalsh, Kishorn.</li> <li>- Need to link to other transport services at destination points, e.g. Kyle bus services.</li> <li>- Precedents: Isle of Eriskay (Community passenger ferry terminal).</li> <li>- Potentially offer a one-ticket service linked to other operators both on the peninsula (bus service) and out with (other ferry operators).</li> <li>- Operational considerations for any ferry service to include: <ul style="list-style-type: none"> <li>o Impact of weather on viability. Could be mitigated through choice of vessel.</li> <li>o Speed of service, needs to compete with road.</li> </ul> </li> </ul>

Theme	Idea	Principles / Considerations
Community	Better utilise the Community Hall	<ul style="list-style-type: none"> <li>- Potential new uses: weekly cinema, art space, community café (strupachs), shared desk/computer space, commercial use (wedding venue, etc), library/book swap, safety fence between small room and play facilities, craft/local producers market, office space (photocopier, printer, hot desk), new play area outside small room, catering service utilising kitchen, training venue, dedicated rooms for specific purposes (music, gym, youth space, etc), gallery/cultural space</li> <li>- Hall needs to be more open and accessible e.g. keypad on door.</li> <li>- Expansion of carparking and potential taxi service to Shore St.</li> <li>- Better promote activity in hall, e.g. a central website, digital signage.</li> <li>- Identify volunteers for ongoing maintenance and cleanliness.</li> <li>- Existing hall maintenance to include: kitchen, lighting, decking, parking, flooding, construct secure access route from small room to play area outside, clear out existing rooms used for storage, re-establish shower room, refurbish/renovate to make more attractive and sustainable.</li> <li>- Potential proposals for surrounding area: extend parking area, tidy up of area around the Fire Station (e.g. old cars to be relocated), sports field.</li> </ul>
Community	Identify a site/shed for a library of things to share skills and equipment between residents and crofters	<ul style="list-style-type: none"> <li>- Potentially could be incorporated within existing community assets, e.g. The Steading, Community Hall.</li> </ul>
Community	Identify a site for a new playpark in central location for locals and visitors	<ul style="list-style-type: none"> <li>- Existing facilities at Community Hall to be improved and upgraded.</li> </ul>
Community	Establish a coordinated approach to waste and general tidiness	<ul style="list-style-type: none"> <li>- Develop a central waste centre: <ul style="list-style-type: none"> <li>o Recycle centre for all waste. Compost / glass / cardboard</li> <li>o Could be a potential commercial opportunity.</li> <li>o Consider location carefully, maybe most useful centrally.</li> </ul> </li> <li>- Develop life cycle approach and establish retail outlet for some waste, e.g. upcycle.</li> <li>- Identify sites for community bins across the area.</li> <li>- Establish quarterly bulk waste pick-up.</li> <li>- Establish a local janitor service.</li> </ul>
Community	Develop a new allotment	<ul style="list-style-type: none"> <li>- Location to be the Hydro Field, opposite Steading.</li> <li>- To include: multiple individual garden beds, workshop/shed and poly tunnel facilities.</li> <li>- Consider how the allotment can be integrated within the community, e.g. connecting this to the school if possible so that kids may have a permanent growing area.</li> </ul>
Community	Better coordinate social activities and local groups	<ul style="list-style-type: none"> <li>- Consider how to organise more regular social activities for all ages, e.g. youth club, community choir; pilates group; Scottish country dancing; summer ceilidh (for tourists too); short tennis.</li> <li>- Consider establishing a Creative Applecross group.</li> <li>- Consider ways to better promote and coordinate the Gaelic club: <ul style="list-style-type: none"> <li>o Link to existing groups: the seniors, the Heritage Centre.</li> <li>o Place names project worked well. Opportunity to weave Gaelic awareness and usage into all areas and tourism strategy– unique and special aspect to the area. Promote our clean and special environment and share stories of place including Gaelic heritage and living.</li> <li>o Re-establish events such as the Bardic School, previously held at Hartfield.</li> <li>o The Gaelic language needs a bigger profile in all of this – it should be celebrated.</li> </ul> </li> <li>- Establish an improved network of community noticeboards; a social media network for local residents; a digital mapping project.</li> </ul>
Community	Develop a local approach to health and wellbeing for those with specific needs	<ul style="list-style-type: none"> <li>- Consider specific needs, such as elderly, or those in care.</li> <li>- Currently no home care service. Consider how to appoint a local care co-ordinator to improve delivery of care in the community.</li> <li>- Need to consider how to develop more activities for older people in the community.</li> </ul>
Community	Develop a new swimming pool	<ul style="list-style-type: none"> <li>- Mill Pond Site adjacent to Hydro would be preferred as it may offer more potential as a venue for tourists as well as locals, and could be heated through ground source heat pump from Hydro. Planting could also be used to mitigate cleaning issues, and temperature regulating. Potential issue of limestone scaling at this site.</li> <li>- Community Hall or Steading could be used as an alternative site, and this would be for a smaller 'endless pool'. Either site could become part of wider leisure facility to include gym.</li> </ul>

Theme	Idea	Principles / Considerations
Community	Develop a gymnasium/exercise equipment and/or multi-use sports pitch.	<ul style="list-style-type: none"> <li>- Potential for a 4g sports pitch for different sports, and both indoor and outdoor gym equipment.</li> <li>- Elements could be placed near or within the Community Hall (the triangle) or The Steading, and/or at Hartfield House.</li> </ul>
Community	Protect and preserve cultural, historical and environmental areas on and around the Peninsula. Link to existing designations.	<ul style="list-style-type: none"> <li>- Geo Park to protect special area of geology, landscape and culture. Identified at a potential site near Beinn Bhan.</li> <li>- Marine park to protect and preserve unique marine eco-system surrounding Applecross. Sites identified at Applecross Bay, An Ruadh Eilean, Eilean Beag, Uags coastline.</li> <li>- Crofting Area Protection for Milton.</li> <li>- Coordinate development alongside Wester Ross Biosphere objectives.</li> <li>- Investigate re-wilding of the Glen.</li> <li>- Conduct an archaeological and heritage survey of the peninsula.</li> </ul>



Appendix 2: Applecross Community Vision

Community Vision

<b>OUR VISION FOR 2030</b>	A resilient, prosperous and welcoming community offering a high quality of life to local residents and visitors alike, by actively pursuing opportunities for sustainable economic development whilst maintaining the special character and cultural and language traditions of Applecross.			
<b>OUR PRIORITIES</b>	<u>Communication</u>	<u>Community sustainability</u>	<u>Employment</u>	<u>Housing</u>
<b>...THE KEY CHALLENGES WE FACE</b>	Dialogue with Trust is irregular & limited	Council & community funds limited	Premises generally in short supply	House prices often beyond local means
	Dialogue between local groups is limited	Few young families living in area	Fewer families stay if jobs of poor quality	Second homes/holiday lets restrict housing availability
	No easy way to gauge local opinion...	Road infrastructure deteriorating	Employment diversity is limited	Local plan can restrict housing development
	The need for change? Local views differ	Limited public transport provision	Seasonal employment dominates economy	Restricted access to land (Trust & crofts)
<b>THE OUTCOMES WE SEEK...</b>	Regular dialogue with the Trust	Secure provision of local services and community assets	More business premises	Wider range of housing solutions (elderly, single occupancy, affordable, accessible)
	Local organisations work more closely	Encourage more families to settle	Support for local entrepreneurs	Locally focused Trust rental policy
	More regular local consultation	Improvement of road infrastructure and traffic management	Improved services for locals & visitors	Re-examine local plan
	Improved community engagement	New transport solutions	Promote partnership project working	Increased availability of land
<b>NEW INITIATIVES TO MEET THE CHALLENGES...</b>	...Create new 'Discussion Forum' to gauge local opinion in Applecross on key issues	...Local organisations to consider community resilience	...Local organisations to consider employment situation	...Local organisations to jointly consider a housing strategy
	...Trust representatives to be involved in Forum meetings	...Lobby Highland Council to improve road infrastructure	...Local organisations to investigate support for local entrepreneurs	...Trust/crofters to identify land to sell for housing, and to address absenteeism
	...Forum representatives to attend Applecross Trustee meetings	...Visits to learn about other communities' plans for sustainability/resilience	...Local organisations to explore options for new local apprenticeships	...Planning Aid Scotland to help local organisations identify potential housing

<b>NEW INITIATIVES TO MEET THE CHALLENGES...</b>	...Build Forum website to share minutes etc	...Local organisations explore option to buy land from Trust for community development	...New estate plan to identify/facilitate new employment opportunities	...Local organisations to work with HSCHT to deliver new affordable homes
	...Encourage more locals to take part in discussions about community's future	... Local organisations to explore option to create 'community hub' of facilities (could include: small shops, office spaces, public space, facilities for visitors, new recreational facilities). On a new site, or within the old steading (or otherwise developed across multiple locations)?	...Local organisations to work with Planning Aid Scotland to identify location(s) for new premises (retail, office, workshops, yards etc. as required)	...Trust to identify suitable plots for local self-builders to buy from them
	...Community develop a 'Shared Vision for Applecross' then local organisations refer to it	...Trust to develop new estate plan which supports community/is aligned to Vision	...Trust to assess options for new woodland crofts (these could provide employment & housing)	...Trust to develop a Housing Policy explaining how tenancies awarded
	...Trust to develop ways to speed up decision-making on new proposals	...Improve key infrastructure (e.g. faster broadband / new strategic footpaths)	...Local organisations to jointly explore option to create new visitor facility	...Trust to continue or increase their role as providers of adequate rental housing stock
<b>GUIDING PRINCIPLES</b>	Regular communication	Build resilience for a secure future	A joined-up approach is essential	Increase range and supply of housing options to meet all needs
	Open and honest communication	Attract and retain people of working age	Enable a wide range of opportunities	Ensure housing stock is of a suitable standard.
	All views to be listened to	Maintain and celebrate cultural heritage	Consider impacts on existing businesses	Help facilitate access to land for housing